

THE INN AT KIRKSIDE

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PROJECT INFORMATION

SCOPE OF WORK RENOVATION OF EXISTING BUILDING, ALL FLOORS. DELIVER RESTAURANT, COMMUNITY GATHERING SPACE, AND 10 LODGING SUITES.

BUILDING CODE DATA

CODES APPLIED

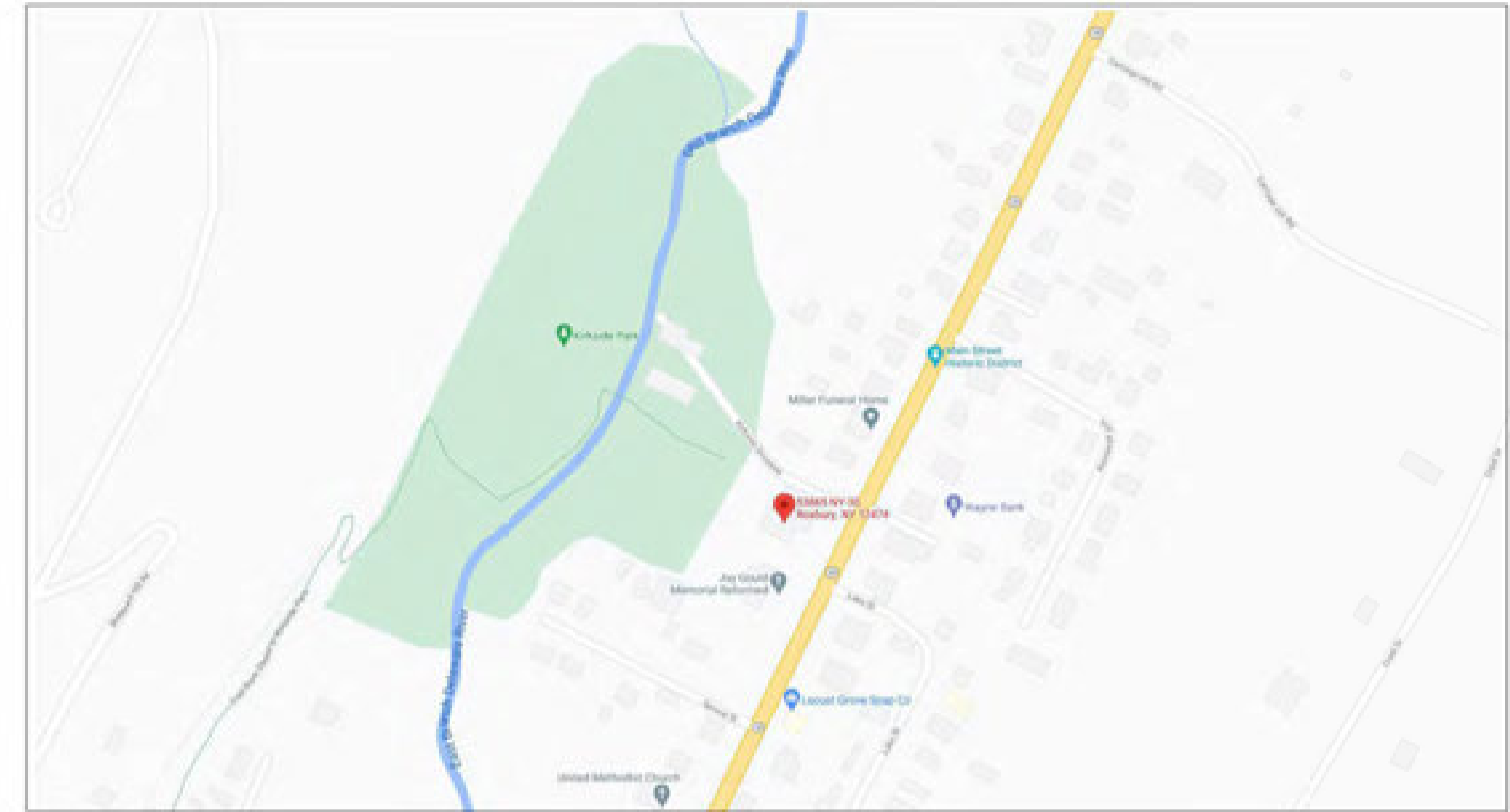
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GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 NEW YORK STATE BUILDING CODE, TOWN OF ROXBURY FORE DEPARTMENT RULES AND REGULATIONS, LOCAL UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING LOCAL AGENCIES.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS, AND REQUIRED SIGN OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL SUBMIT COPIES OF PLUMBING AND ELECTRICAL CONTRACTORS' LICENSES AND WORK PERMITS TO BUILDING SUPERINTENDENT AND MANAGEMENT, ALONG WITH REQUIRED INSURANCE CERTIFICATES, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS
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SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

COVER SHEET

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-001

PROJECT NOTES

GENERAL NOTES

- ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO APPLICABLE AND LATEST REQUIREMENTS OF NATIONAL, STATE, AND LOCAL BUILDING CODES, ALL LOCAL AND STATE HANDICAP ACCESS AND USE REGULATIONS, ANY FIRE DEPT. REGULATIONS, UTILITY COMPANY REQUIREMENTS AND LANDLORD'S RULES AND REGULATIONS, AND GENERAL CONDITIONS OF APPLICABLE OWNER/CONTRACTOR AGREEMENT.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE TENANT, LANDLORD, AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES, AND OWNER & MAPOS ARCHITECTS, DPC AND THEIR AGENTS AS ADDITIONAL INSURED.
- THE DRAWINGS AND PROJECTS MANUAL ARE COMPLIMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE ORGANIZATION OF THE DRAWINGS AND PROJECT MANUAL SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK PERFORMED BY ANY TRADE.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON HIS BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLECT, OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
- THE SCOPE OF WORK INCLUDES FULL CONSTRUCTION OF NEW FACILITIES, WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPEC. HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PROMPTLY.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS AND/OR CHANGES TO THE ARCHITECT, IN WRITING, FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- G.C. TO COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES AND USE OF ELEVATORS AS TO MINIMIZE DISTURBANCE OF BUILDING FUNCTION AND OCCUPANTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS, AND FINISHES UNLESS OTHERWISE NOTED. ANY WORK INVOLVING THE CUTTING, PENETRATION THROUGH, TRENCHING OR MODIFICATION OF STRUCTURAL ELEMENTS OF THE BUILDING STEEL, OR THE INTERRUPTION OF LANDLORD BASE BUILDING UTILITY SYSTEMS, ETC. SHALL BE COORDINATED WITH THE LANDLORD PRIOR TO THE COMMENCEMENT OF WORK.
- OWNER WILL PROVIDE WORK NOTED AS "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESMEN AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN OFFS.
- THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK, AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK, REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO THE ARCHITECT. TELEPHONE INQUIRIES WILL NOT BE PERMITTED.
- EXISTING CONDITIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR SHALL ADJUST FOR ACTUAL FIELD CONDITIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
- CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS, OR THEIR WORK. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE FOR DURATION OF WORK. ALL DAMAGES DUE TO IMPROPER PROTECTION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS FOR DURATION OF WORK IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL RECEIVE AND SAFELY STORE OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE EXISTING STRUCTURE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY. WITHOUT ASSUMING KNOWLEDGE OR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.

- MAINTAIN WORK AREAS SECURE AND LOCKABLE FOR THE DURATION OF WORK AND COORDINATE WITH OWNER/LANDLORD TO ENSURE SECURITY.
- PROVIDE A DULY AUTHORIZED FULL-TIME REPRESENTATIVE ON THE JOB SITE AT ALL TIMES FOR SUPERVISION OF CONSTRUCTION AS OUTLINED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL VERIFY WITH OWNER AND IMPLEMENT ALL CONSTRUCTION AND DESIGN CRITERIA AS REQUIRED BY LOCAL MUNICIPALITIES SHOWN ON THIS SET OF DRAWINGS, OR NOT SHOWN.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO FABRICATION & INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/FINISHES FOR ARCHITECTS APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/ SUBSTITUTION FROM CONTRACT DOCUMENTS.
- CONTRACTOR TO PROVIDE OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSE OUT PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTEES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
- ALL WORK BY GENERAL CONTRACTOR AND SUBCONTRACTORS WILL COMPLY TO CODES AND STANDARDS SET FORTH BY THE FOLLOWING AGENCIES AND ORGANIZATIONS-- ACI: AMERICAN CONCRETE INSTITUTE; AISC: AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC.; ANSI: AMERICAN NATIONAL STANDARDS INSTITUTE; ASHRAE: AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS; ASTM: AMERICAN SOCIETY FOR TESTING AND MATERIALS; AWS: AMERICAN WELDING SOCIETY; ICBO: INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS; NEC: NATIONAL ELECTRICAL CODE, LATEST EDITION; NFWMA: NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION; OSHA: OCCUPATIONAL SAFETY AND HEALTH STANDARDS, LATEST SAFETY ORDERS; SMACNA: SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION; UBC: UNIFORM BUILDING CODE, LATEST EDITION WITH STATE AMENDMENTS, LATEST ED.; UL: UNDERWRITER'S LABORATORIES, INC.; UMC: UNIFORM MECHANICAL CODE, LATEST ED.; UPC: UNIFORM PLUMBING CODE, LATEST ED.; OTHER CITY, COUNTY, AND STATE CODES AND ORDINANCES ARE APPLICABLE.

DEMOLITION NOTES

- THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED ON THESE DOCUMENTS.
- ALL DEMOLITION TO BE CARRIED OUT IN A WORKMAN LIKE MANNER.
- PROVIDE TEMPORARY PROTECTION FOR ALL EXISTING CONSTRUCTION WORK TO REMAIN.
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
- THE CONTRACTOR SHALL EXECUTE ALL WORK FOR DEMOLITION AND REMOVAL OF DEBRIS IN ACCORDANCE WITH PREVAILING CODES, RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROPERLY PROTECT, BRACE, SHORE, UNDERPIN AND MAKE SAFE ALL WALLS AND FLOORS OF THE PROPERTY, AS THE JOB CONDITIONS REQUIRE.
- BEFORE REMOVING ANY WALLS OR PORTIONS THEREOF, CONTRACTOR SHALL DETERMINE THAT SUCH ARE NOT LOAD BEARING WALL AND VERIFY CONDITIONS OF SUPPORT OF REMAINING PORTIONS OF SUCH WALLS. IF PLANS CALL FOR REMOVAL OF ANY PARTS THAT ARE LOAD BEARING CONTRACTOR HAS TO NOTIFY ARCHITECT AND ENGINEER IMMEDIATELY.
- ALL DAMAGE AS A RESULT OF DEMOLITION SHALL BE FULLY RESTORED AND/OR REPLACED TO THE OWNERS' SATISFACTION AT NO ADDITIONAL COST.
- ELECTRICAL, PLUMBING AND MECHANICAL SERVICES ENCOUNTERED IN DEMOLITION ARE TO BE PROPERLY DISCONNECTED, REROUTED, CAPPED OR REPLACED TO THE OWNERS' SATISFACTION AT NO ADDITIONAL COST.
- CONTRACTOR SHALL COMPLY WITH PREVAILING CODES, RULES AND REGULATIONS FOR ASBESTOS.
- NEITHER ARCHITECT OR ENGINEER ARE RETAINED TO SUPERVISE DEMOLITION WORK. ALL WINDOW CASINGS AND FRAMES TO BE REMOVED AND REPLACED BY NEW WINDOW CASINGS AND FRAMES AS PER ARCHITECT'S SPECIFICATION. EXPOSED BRICK AREA TO BE INSPECTED BEFORE NEW WINDOW INSTALLATIONS.
- ALL WINDOWS, DOORS, FIXTURES, ACCESSORIES, FINISHES, AND MILLWORK THAT IS MARKED FOR DEMOLITION SHOULD BE REMOVED WITH CARE, PROTECTED, AND STORED FOR FUTURE REUSE BY THE OWNER.
- SAVE ALL HEAVY TIMBER (BEAMS, COLUMNS, ETC.)
- SAVE ALL WOOD FLOORING.
- SAVE ANY BRICK AND STONE.
- SAVE ANY STEEL/IRON MACHINERY, JOISTS, BEAMS, RADIATORS, ETC.
- REMOVE ALL CARPET AND UNDERLAYMENT.
- REMOVE ALL EXISTING WALLPAPER/WALL COVERINGS.

FOUNDATION NOTES

- SEE TEST PIT LOCATIONS DRAWING. REVIEW WITH ARCHITECT

CONSTRUCTION NOTES

- ALL DIMENSIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD." ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4" UNLESS OTHERWISE NOTED.
- ALL INTERIOR GLAZING TO BE SAFETY GLAZING IN ACCORDANCE WITH APPLICABLE CODES.
- MARK THE LOCATION OF ALL PARTITIONS ON THE FLOOR DEACK FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION. REVIEW SHALL BE FOR DESIGN INTENT. CONTRACTOR TO VERIFY ALL CONDITIONS IN ORDER TO ENSURE PROPER FIT.
- ALL PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL TO BUILDING PERIMETER WALLS, UNLESS OTHERWISE NOTED.
- HINGE FACE OF ALL DOOR OPENINGS SHALL BE LOCATED AT LEAST 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.

REFLECTED CEILING NOTES

- ARCHITECTURAL DRAWINGS ONLY INDICATE LOCATIONS OF ELECTRICAL, MECHANICAL, FIRE PROTECTION, AUDIO-VISUAL AND SECURITY DEVICES. FOR SPECIFICATIONS AND DESIGN OF THESE SYSTEMS REFER TO THE ENGINEERING AND/OR CONSULTANT DRAWINGS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, FOR COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK AND FOR PROVIDING RECORD "AS-BUILT" DRAWINGS.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTWORK, STRUCTURAL ELEMENTS AND OTHER APPLICABLE ITEMS, ARRANGE AND MODIFY NON-VISIBLE ITEMS TO INSURE ADEQUATE CLEARANCES FOR CEILING MOUNTED DEVICES AND FOR CEILING LAYOUT AS INDICATED.
- MOUNT STANDARD SWITCHES AS INDICATED ON THE STANDARD MOUNTING HEIGHT ELEVATIONS, UNLESS OTHERWISE NOTED.
- INDICATED DIMENSIONS ARE TO THE CENTERLINE OF A SINGLE SWITCH OR TO THE CENTERLINE OF A CLUSTER OF SWITCHES, UNLESS OTHERWISE NOTED.
- INSTALL SWITCHES ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES, UNLESS OTHERWISE NOTED. DO NOT INSTALL BACK TO BACK.
- PROVIDE MATCHING "LEVITON DECORA SERIES" TYPE COVER PLATES, SWITCHES AND RELATED ITEMS, COLOR: WHITE, UNLESS OTHERWISE NOTED. PROVIDE ALL DEVICES UNDER A COMMON FACEPLATE, UNLESS OTHERWISE NOTED.
- ALL STROBE, SPEAKER/STROBE AND VISUAL ALARM DEVICE LOCATIONS INDICATED ON THE ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT. SUBMIT "SHOP DRAWING" TO ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO START OF WORK.
- LOCATE HVAC DIFFUSERS/REGISTERS AND LIGHTING FIXTURES WITHIN GRID LINES, UNLESS OTHERWISE NOTED. LOCATE SPRINKLER HEADS, SPEAKERS, RECESSED LIGHT FIXTURES AND OTHER CEILING DEVICES IN THE CENTER OF ACOUSTICAL CEILING UNITS, UNLESS OTHERWISE NOTED.
- FINISH OF HVAC DIFFUSERS/REGISTERS, LIGHT FIXTURE TRIM, DRAPERY POCKETS, SPEAKER GRILLES AND OTHER CEILING MOUNTED DEVICES TO MATCH CEILING GRID FINISH, UNLESS OTHERWISE NOTED.

FINISH NOTES

- ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE
- REPAIR EXISTING SURFACES SCHEDULED TO REMAIN AS REQUIRED FOR THE APPLICATION OF NEW FINISHES
- UNLESS OTHERWISE NOTED, PROVIDE MINIMUM THREE-COAT PAINT SYSTEMS FOR EACH SUBSTRATE.
- WOOD BASE ALL FRONT OF HOUSE; RESILIENT ALL BACK OF HOUSE
- REFER TO MATERIAL FINISH SCHEDULE FOR LEVEL OF FINISH FOR GYPSUM BOARD PARTITIONS/CEILINGS AS REQUIRED FOR SPECIFIED FINISHES
- ALL EXPOSED DUCTWORK, SPRINKLER PIPING MISC. PIPING & CONDUIT IN AREAS OF NO FINISHED CEILING ARE TO BE PAINTED TO MATCH SLAB PAINT, U.O.N.

FURNITURE NOTES

- FURNITURE IS INDICATED FOR INFORMATIONAL PURPOSES ONLY.
- CONTRACTOR TO COORDINATE LAYOUT OF FURNITURE WITH FURNITURE MANAGER/SUPPLIER PRIOR TO INSTALLATION OF WALL & FLOOR MOUNTED DEVICES.

POWER AND COMMUNICATION NOTES

- COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA, AUDIO-VISUAL AND SECURITY SYSTEMS.
- VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- MOUNT STANDARD WALL OUTLETS, STROBES, THERMOSTATS AND OTHER DEVICES AS INDICATED ON THE STANDARD MOUNTING HEIGHT ELEVATIONS, UNLESS OTHERWISE NOTED. ALL LOCATIONS TO BE CONFIRMED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
- INDICATED DIMENSIONS ARE TO THE CENTERLINE OF AN INDIVIDUAL OUTLET OR TO THE CENTERLINE OF A CLUSTER OF OUTLETS, UNLESS OTHERWISE NOTED.
- INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES, UNLESS OTHERWISE NOTED. DO NOT INSTALL BACK-TO-BACK.
- PROVIDE MATCHING "LEVITON DECORA SERIES" TYPE COVER PLATES, RECEPTACLES AND RELATED ITEMS, COLOR: WHITE, UNLESS OTHERWISE NOTED. PROVIDE ALL DEVICES UNDER A COMMON FACEPLATE, UNLESS OTHERWISE NOTED.
- ARCHITECTURAL DRAWINGS ONLY INDICATE DEVICE LOCATIONS FOR ELECTRICAL, TELECOMMUNICATION, AUDIO-VISUAL AND SECURITY DEVICES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, FOR COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK AND FOR PROVIDING RECORD "AS-BUILT" DRAWINGS.
- ALL ELECTRIC LOCKSETS, ELECTRIC STRIKES AND/OR MAGNETIC LOCKS, IN THE PATH OF EGRESS, SHALL BE TIED TO THE BUILDING FIRE ALARM SYSTEM. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

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SHEET ISSUE		
DATE	12/21/22	
ISSUE NAME	50% DD: Food & Beverage	

REVISIONS		
NO.	DATE	COMMENTS

SEAL

NOT FOR
CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

GENERAL NOTES

PROJECT NUMBER	2206
DRAWN BY	AL
CHECKED BY	CB
SHEET SIZE	24" x 36"
SHEET NUMBER	

A-002



1 EXTERIOR VIEW, WEST ELEVATION
SCALE: NTS



3 AXONOMETRIC, NORTHWEST VIEW
SCALE: NTS



2 EXTERIOR VIEW, EAST ELEVATION
SCALE: NTS

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

CONCEPTUAL IMAGERY,
EXTERIORS

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-003



1 INTERIOR VIEW, ATRIUM
SCALE: NTS



3 INTERIOR VIEW, DINING ROOM
SCALE: 1/16" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

SEAL

NOT FOR CONSTRUCTION



2 INTERIOR VIEW, LIBRARY
SCALE: NTS



4 INTERIOR VIEW, KITCHEN
SCALE: NTS

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

CONCEPTUAL IMAGERY,
INTERIORS

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-004



SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

SITE PLAN - PROPOSED

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-010



1 SITE PLAN - PROPOSED
SCALE: 1/32" = 1'-0"

NOTE: FOR EXISTING CONDITIONS, PLEASE SEE ADDENDUM 1: TOPOGRAPHIC, BOUNDARY & UTILITY SURVEY

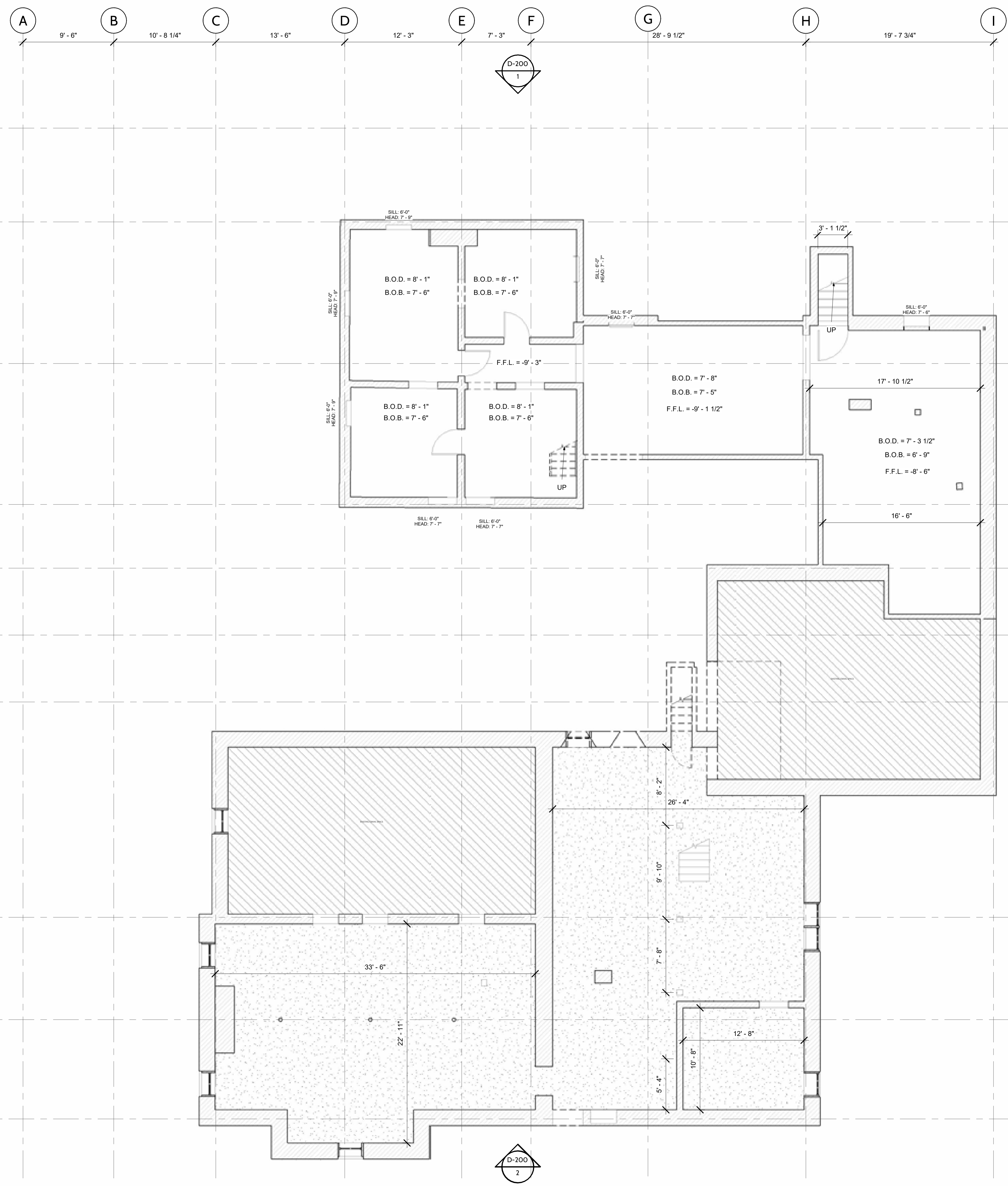
GENERAL DEMOLITION NOTES

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- 17 REMOVE ALL CARPET AND UNDERLAYMENT.
- 18 REMOVE ALL EXISTING WALLPAPER/ WALL COVERINGS.

DEMOLITION LEGEND

EXISTING ARCHITECTURE TO BE REMOVED
EXISTING WALL TO REMAIN

- 1 9' - 9 3/4"
- 2 14' - 9 3/4"
- 3 14' - 9"
- 4 6' - 8"
- 5 7' - 0"
- 6 7' - 0"
- 7 22' - 6 1/2"
- 8 10' - 8 1/2"
- 9 10' - 4 3/4"
- 10



SHEET ISSUE

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REVISIONS

NO.	DATE	COMMENTS

SEAL

NOT FOR CONSTRUCTION

PROJECT NAME
THE INN AT KIRKSIDE

PROJECT LOCATION
**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

BASEMENT PLAN- DEMO

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

D-100

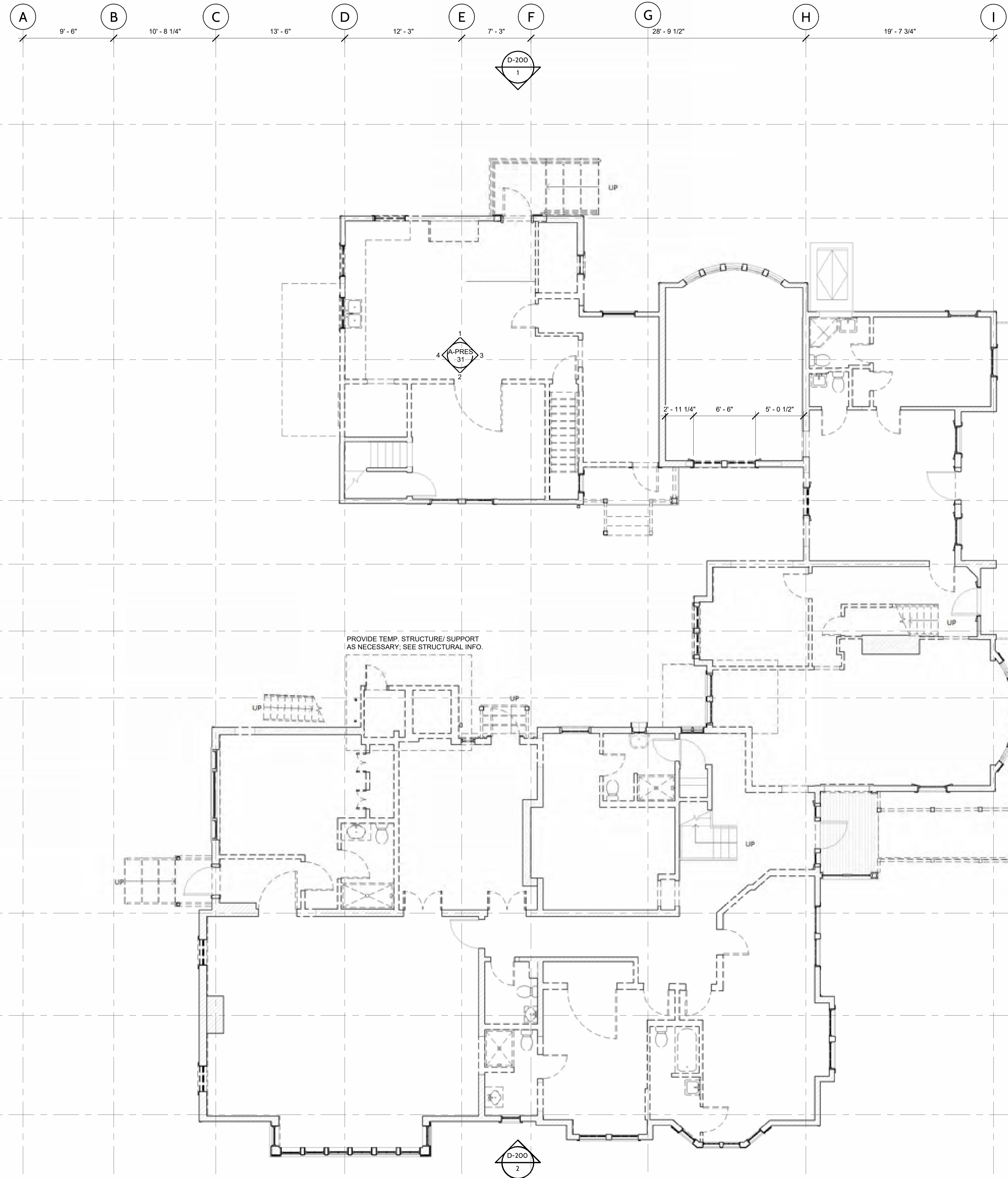
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- 1 9' - 9 3/4"
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NOTE:
GO TO INSPECT CONDITIONS OF EXISTING WINDOWS AND MAKE RECOMMENDATIONS TO ARCHITECT ON WHICH, IF ANY, REQUIRE REPLACEMENT

PROVIDE TEMP. STRUCTURE/ SUPPORT AS NECESSARY; SEE STRUCTURAL INFO.

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SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

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SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

GROUND FLOOR PLAN- DEMO

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

D-101

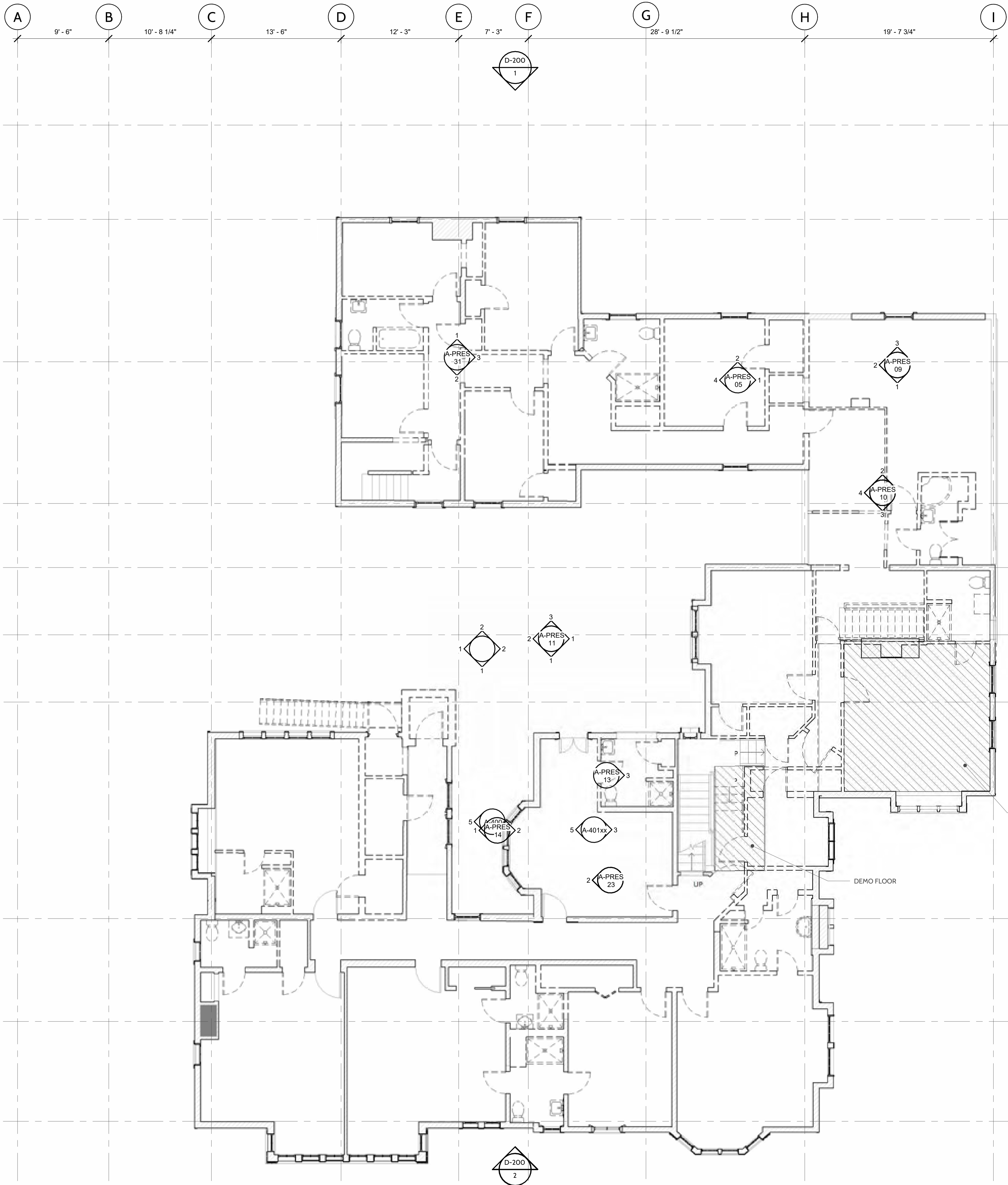
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SHEET ISSUE

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

SECOND FLOOR PLAN- DEMO

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

D-102

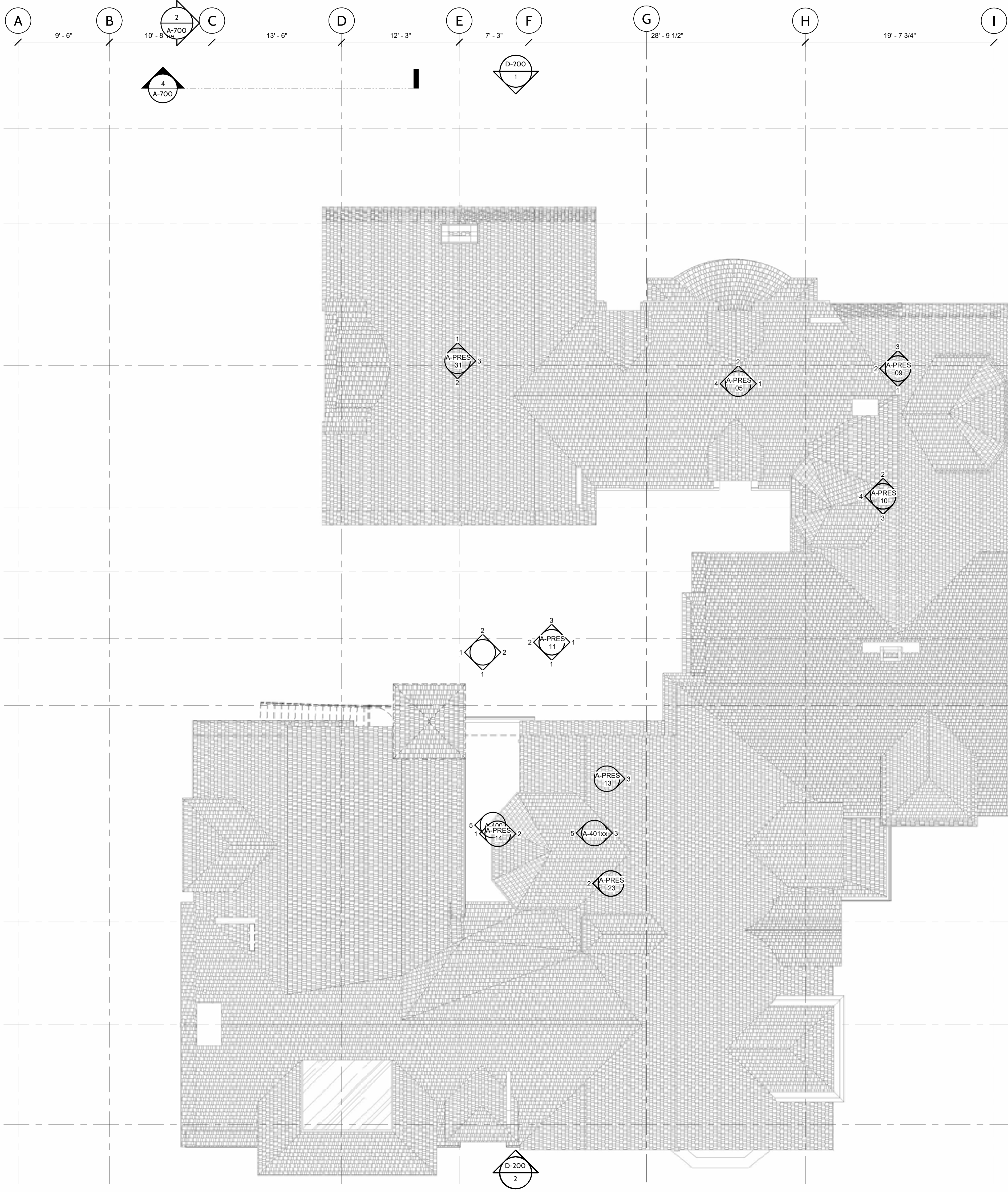
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NOTE:
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SHEET ISSUE

DATE 12/21/22
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SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

ROOF PLAN- DEMO

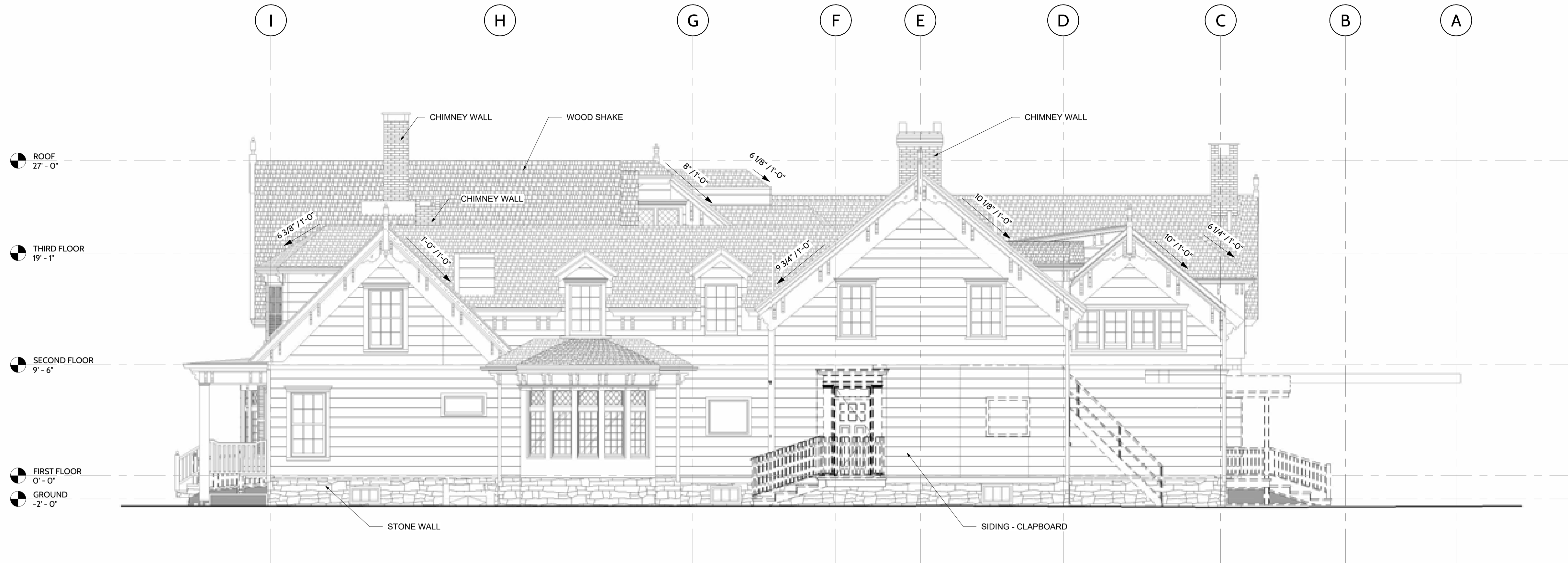
PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

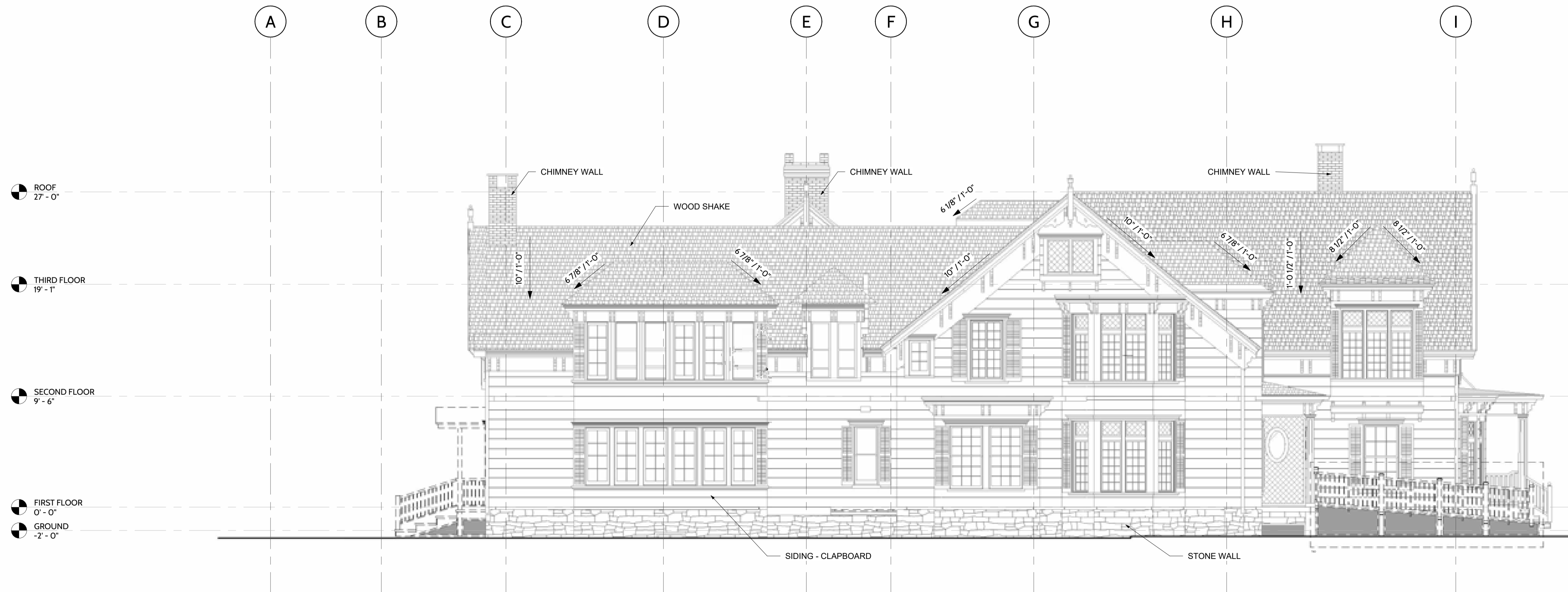
D-104

GENERAL DEMOLITION NOTES

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1 NORTH ELEVATION- DEMO
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION- DEMO
SCALE: 3/16" = 1'-0"

SHEET ISSUE

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

NORTH + SOUTH EXTERIOR ELEVATIONS- DEMO

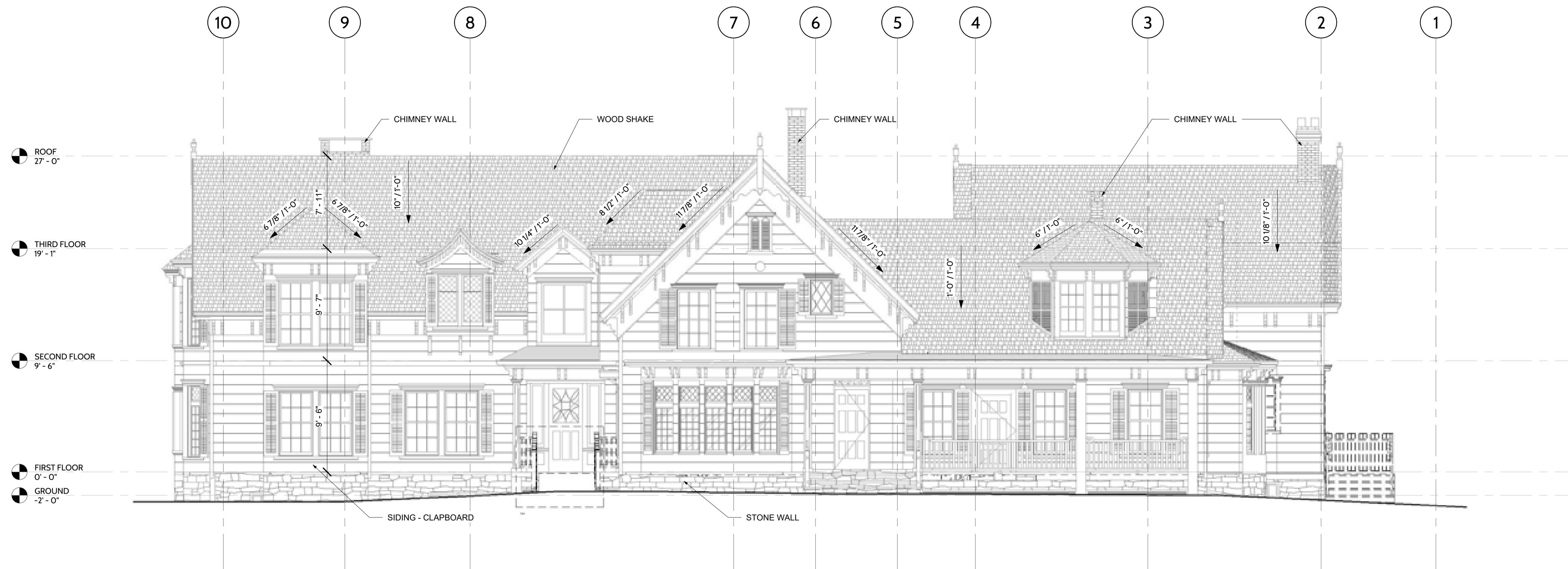
PROJECT NUMBER 2206
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CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

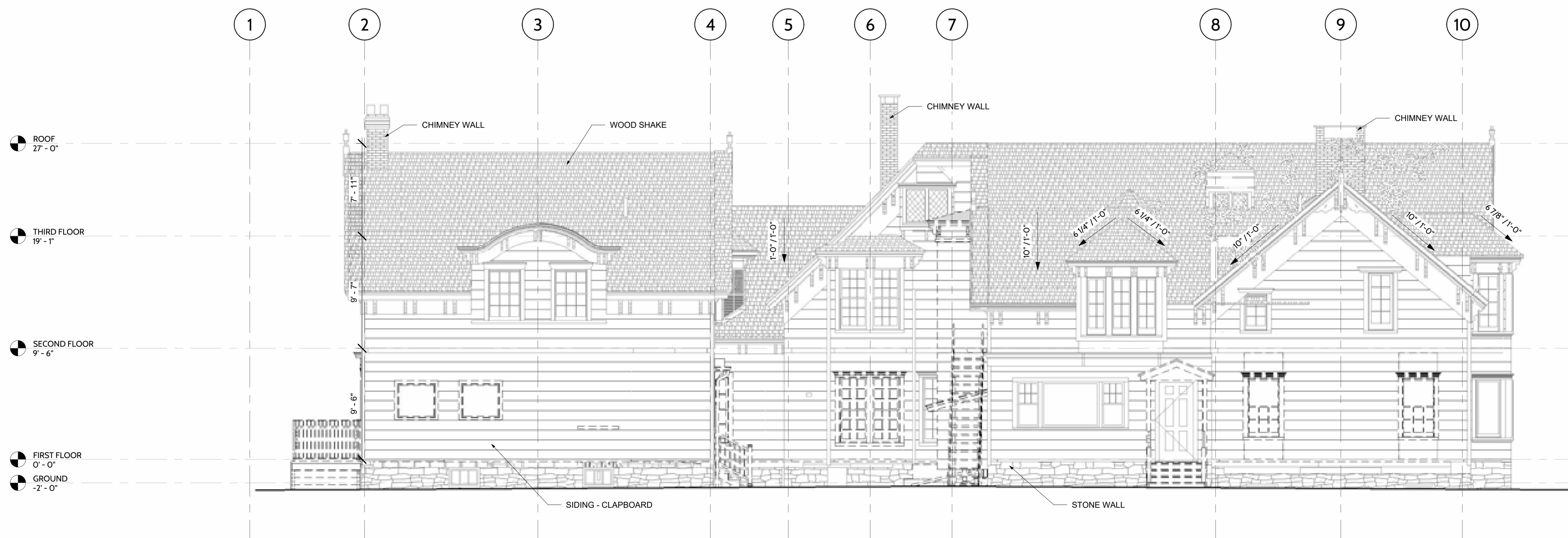
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1 EAST ELEVATION- DEMO
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION- DEMO
SCALE: 3/16" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

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SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

EAST + WEST EXTERIOR ELEVATIONS- DEMO

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

D-201

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

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SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

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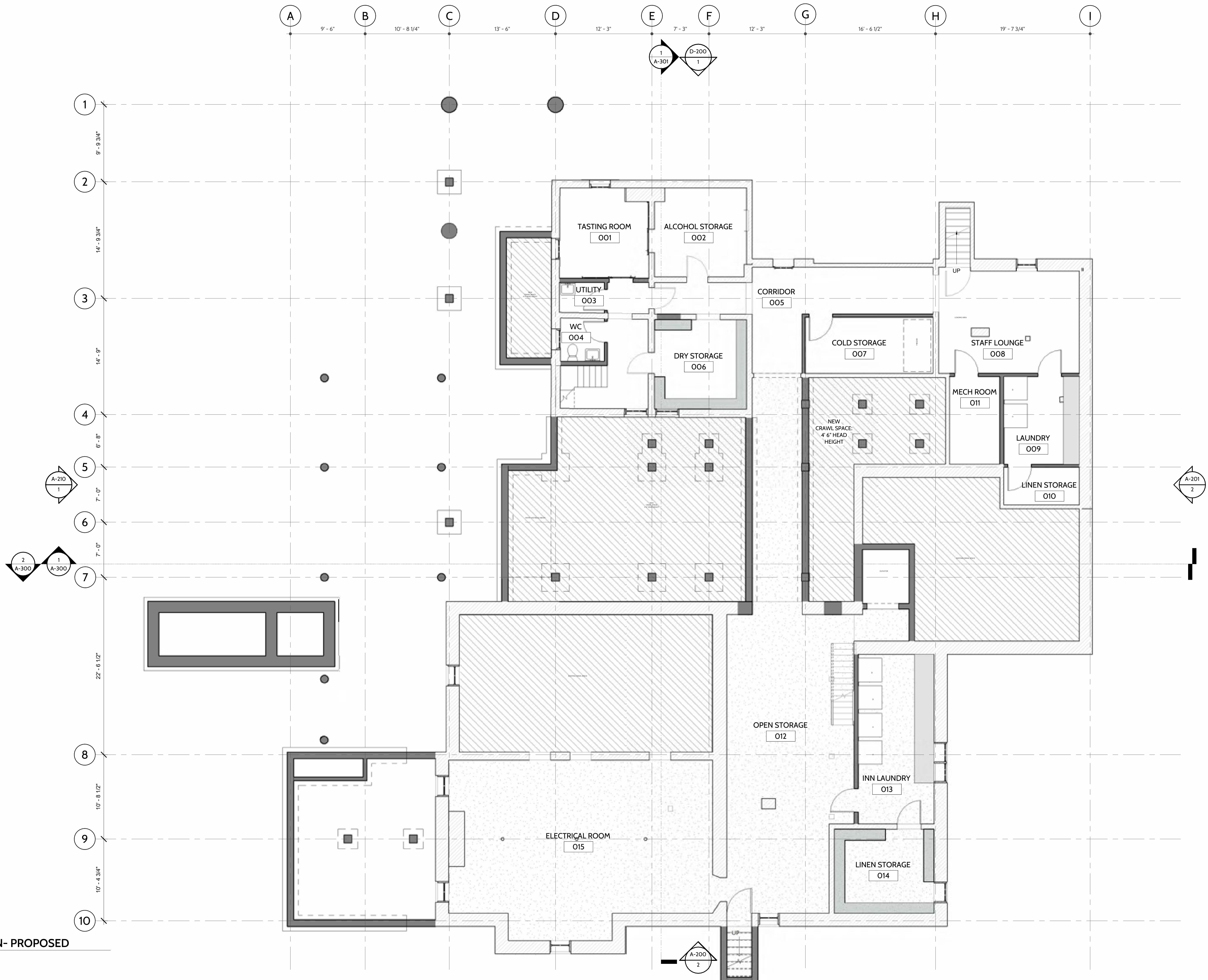
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

BASEMENT PLAN - PROPOSED

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-100



1 **BASEMENT PLAN- PROPOSED**
SCALE: 3/16" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS
B	6/21/21	UPDATED BACKGROUNDS

SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

**GROUND FLOOR PLAN -
PROPOSED**

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-101



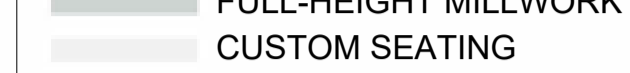


1 GROUND FLOOR PLAN- PROPOSED
SCALE: 3/16" = 1'-0"






WALL LEGEND

-  EXISTING WALL
-  NEW WALL

MILLWORK LEGEND

-  LOW MILLWORK
-  FULL-HEIGHT MILLWORK
-  CUSTOM SEATING

FLOOR FINISHES LEGEND

-  EXTERIOR WOOD DECKING
-  EXTERIOR STONE DECKING
-  QUARRY TILE
-  PORCELAIN TILE FLOORING
-  CONCRETE TOPPING SLAB

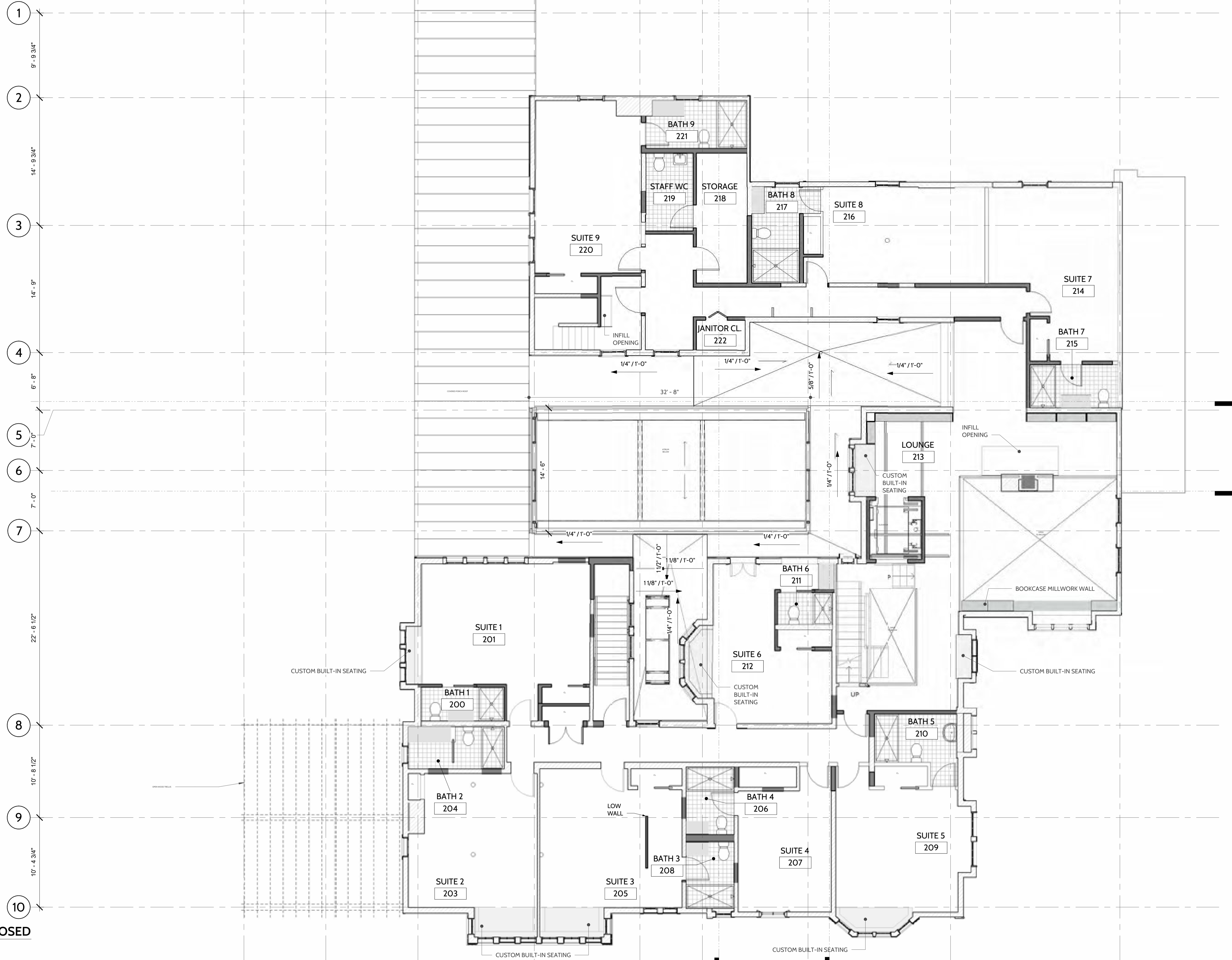
NOTE: RESTABILIZE, STRIP, AND REFINISH EXIST. WOOD FLOORS, AS NECESSARY

WALL FINISHES

- KITCHEN PROCELAIN TILE
- RESTAURANT & PUB FINISH PLASTER
- LIBRARY & LOUNGE FINISH PLASTER
- SUITES WALL COVERING
- BATHROOMS PORCELAIN TILE
- BOH PAINTED DRYWALL

NOTE: REPAIR AND REFINISH EXISTING WINDOWS, AS NECESSARY.

PRICE INSULATION TO WALLS AND ROOF ADD ALT. PRICE STRIPPING ALL WALL GWB/FINISHES AND REPLACING WITH RESPECTIVE WALL FINISH ADD ALT.



SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

SECOND FLOOR PLAN - PROPOSED

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CB

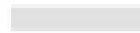

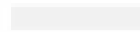
SHEET SIZE 24" x 36"
SHEET NUMBER

A-102






WALL LEGEND

-  EXISTING WALL
-  NEW WALL

MILLWORK LEGEND

-  LOW MILLWORK
-  FULL-HEIGHT MILLWORK
-  CUSTOM SEATING

FLOOR FINISHES LEGEND

-  EXTERIOR WOOD DECKING
-  EXTERIOR STONE DECKING
-  QUARRY TILE
-  PORCELAIN TILE FLOORING
-  CONCRETE TOPPING SLAB

NOTE: RESTABILIZE, STRIP, AND REFINISH EXIST. WOOD FLOORS, AS NECESSARY

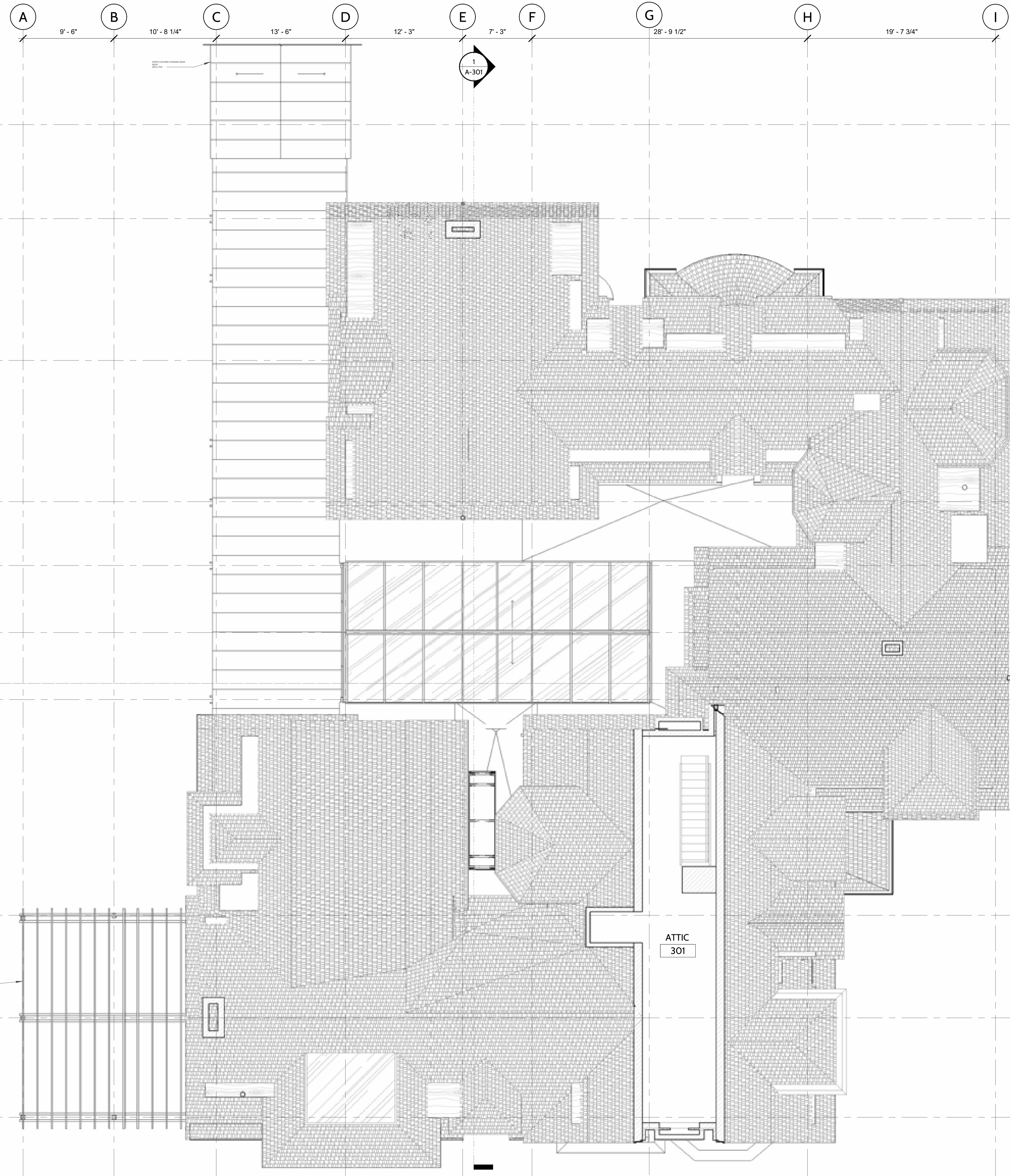
WALL FINISHES

- KITCHEN PORCELAIN TILE
- RESTAURANT & PUB FINISH PLASTER
- LIBRARY & LOUNGE FINISH PLASTER
- SUITES WALL COVERING
- BATHROOMS PORCELAIN TILE
- BOH PAINTED DRYWALL

NOTE: REPAIR AND REFINISH EXISTING WINDOWS, AS NECESSARY.

PRICE INSULATION TO WALLS AND ROOF ADD ALT. PRICE STRIPPING ALL WALL GWB/FINISHES AND REPLACING WITH RESPECTIVE WALL FINISH ADD ALT.

INSPECT EXISTING ROOF AND PRICE REPAIR AS NECESSARY, WITH AN ADD ALT TO REPLACE ENTIRELY.



SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

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SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

THIRD FLOOR PLAN - PROPOSED

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

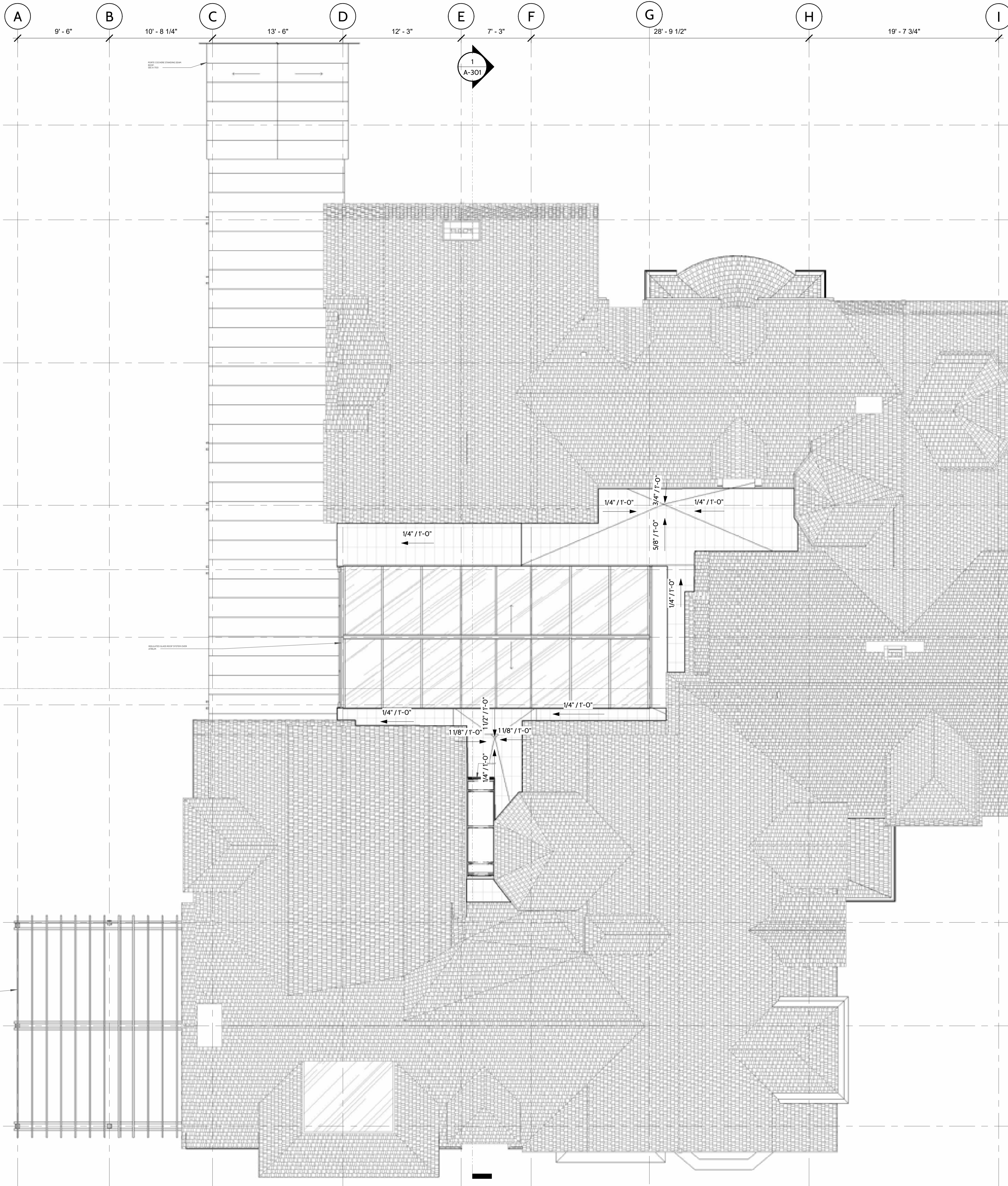
A-103

1 THIRD FLOOR PLAN- PROPOSED
SCALE: 3/16" = 1'-0"

NOTE:
REPAIR AND REFINISH EXISTING WINDOWS, AS NECESSARY.

PRICE INSULATION TO WALLS AND ROOF ADD ALT. PRICE STRIPPING ALL WALL GWB/FINISHES AND REPLACING WITH RESPECTIVE WALL FINISH ADD ALT.

INSPECT EXISTING ROOF AND PRICE REPAIR AS NECESSARY, WITH AN ADD ALT TO REPLACE ENTIRELY.



SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

ROOF PLAN - PROPOSED

PROJECT NUMBER 2206

DRAWN BY AK

CHECKED BY CB

SHEET SIZE 24" x 36"

SHEET NUMBER

A-104



SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

BASEMENT RCP - PROPOSED

PROJECT NUMBER 2206
DRAWN BY ALM
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-110

1 BASEMENT RCP- PROPOSED
SCALE: 3/16" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

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SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

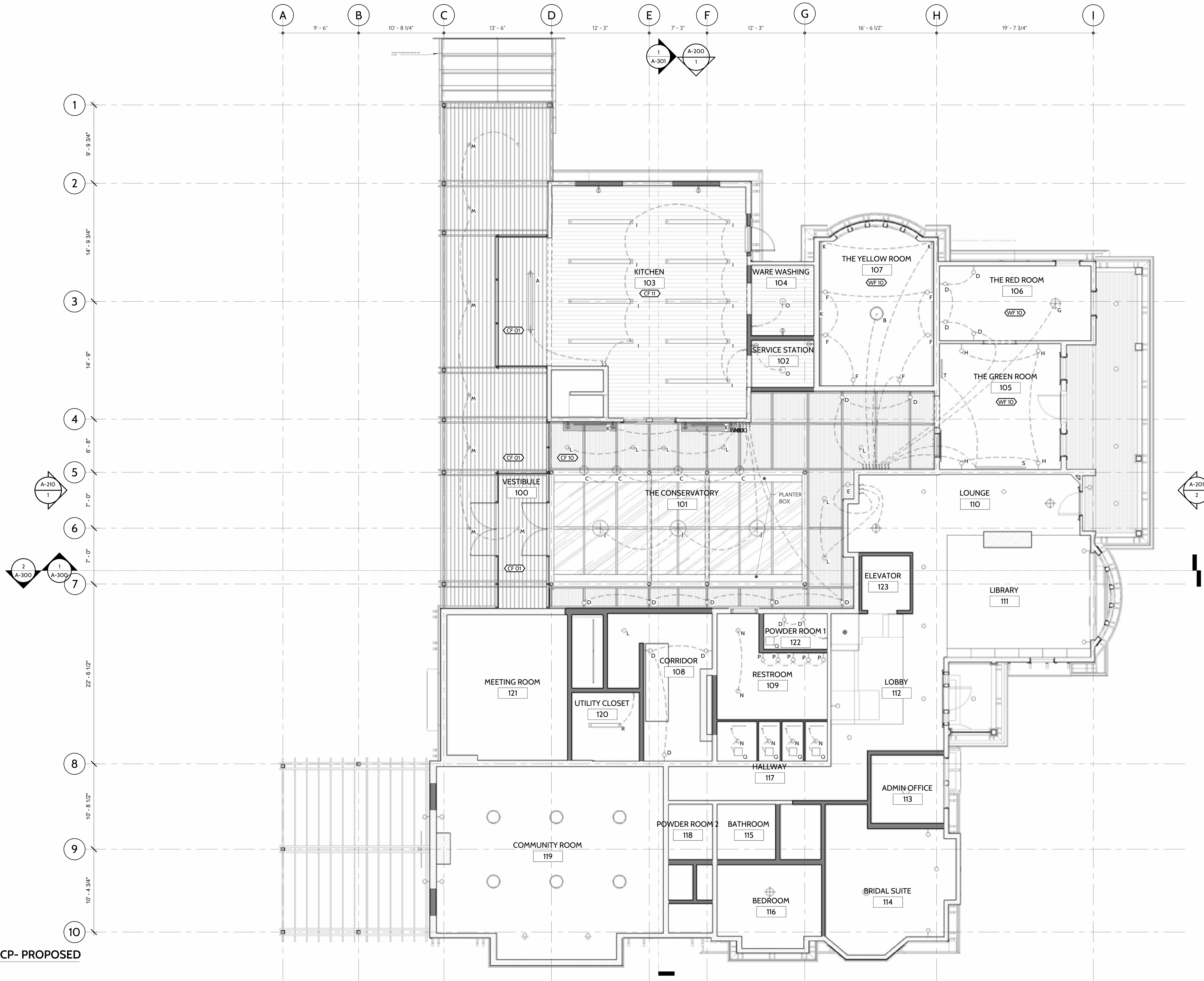
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

GROUND FLOOR RCP - PROPOSED

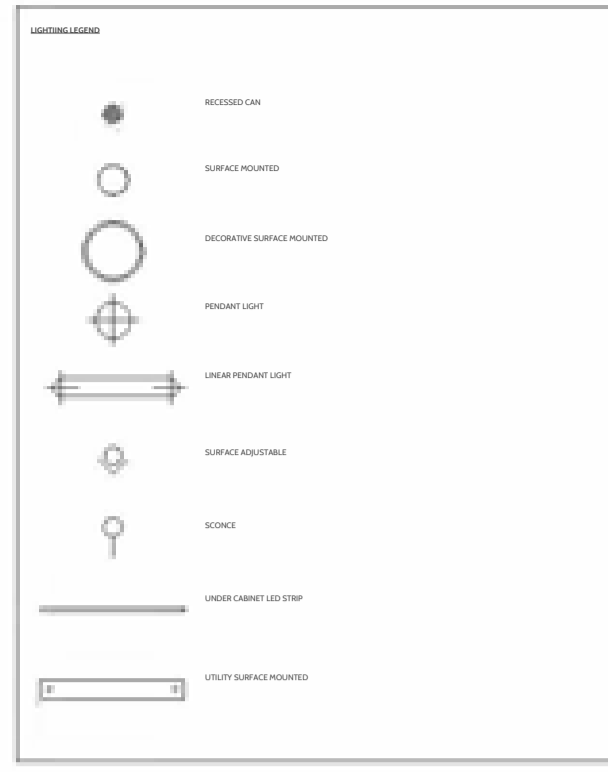
PROJECT NUMBER 2206
DRAWN BY ALM
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-111

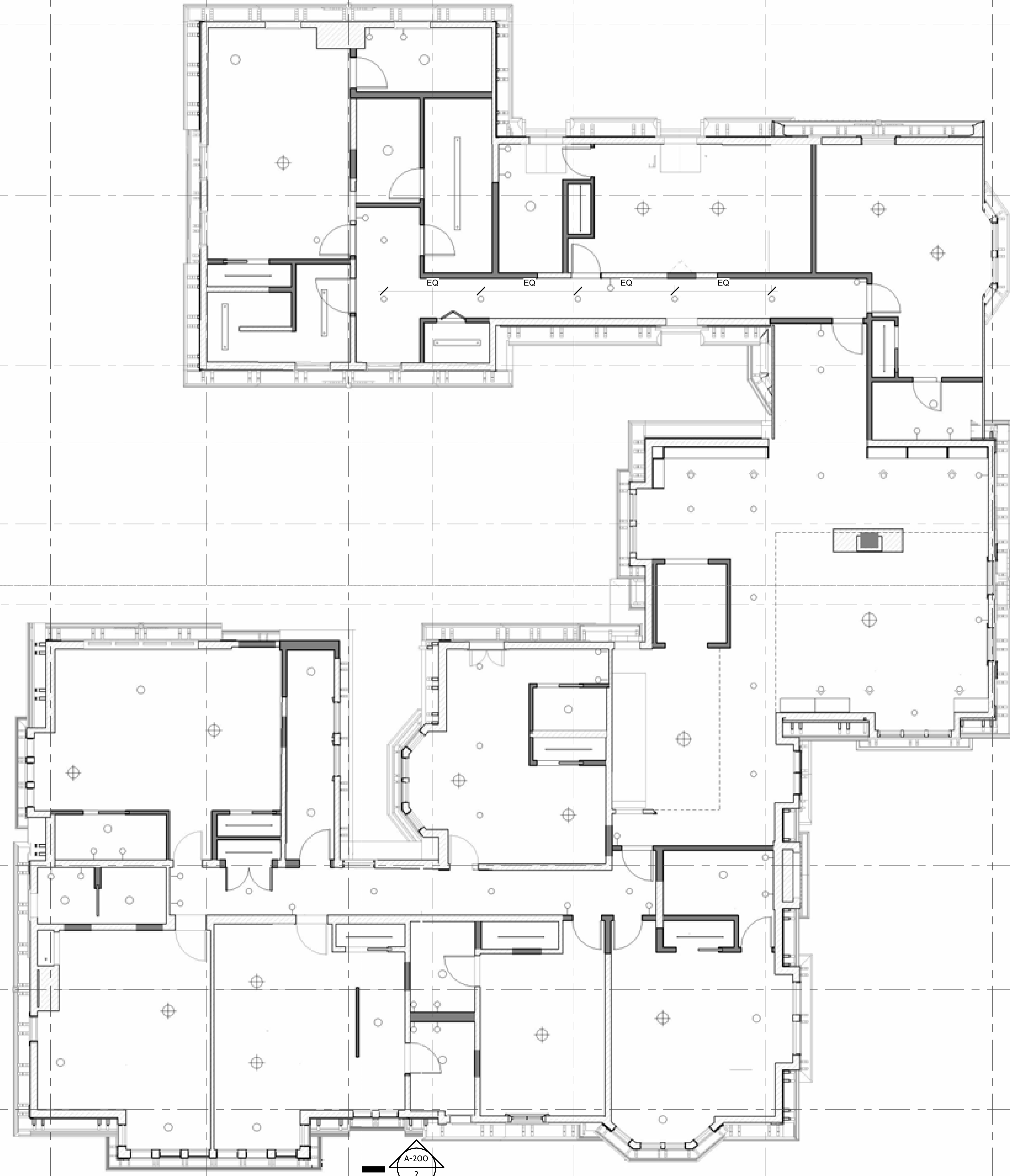


1 GROUND FLOOR RCP- PROPOSED
SCALE: 3/16" = 1'-0"



A 9'-6" B 10'-8 1/4" C 13'-6" D 12'-3" E 7'-3" F G 28'-9 1/2" H I 19'-7 3/4"

1 9'-9 3/4"
 2 14'-9 3/4"
 3 14'-9"
 4 6'-8"
 5 7'-0"
 6 7'-0"
 7 22'-6 1/2"
 8 10'-8 1/2"
 9 10'-4 3/4"
 10



SHEET ISSUE

DATE	12/21/22
ISSUE NAME	50% DD: Food & Beverage

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PROJECT NAME
THE INN AT KIRKSIDE

PROJECT LOCATION
**53865 STATE HIGHWAY 30
 ROXBURY, NY 12474**

**SECOND FLOOR RCP -
 PROPOSED**

PROJECT NUMBER 2206
 DRAWN BY AL
 CHECKED BY CM

SHEET SIZE 24" x 36"
 SHEET NUMBER

A-112

1 SECOND FLOOR RCP- PROPOSED
 SCALE: 3/16" = 1'-0"

1
A-301

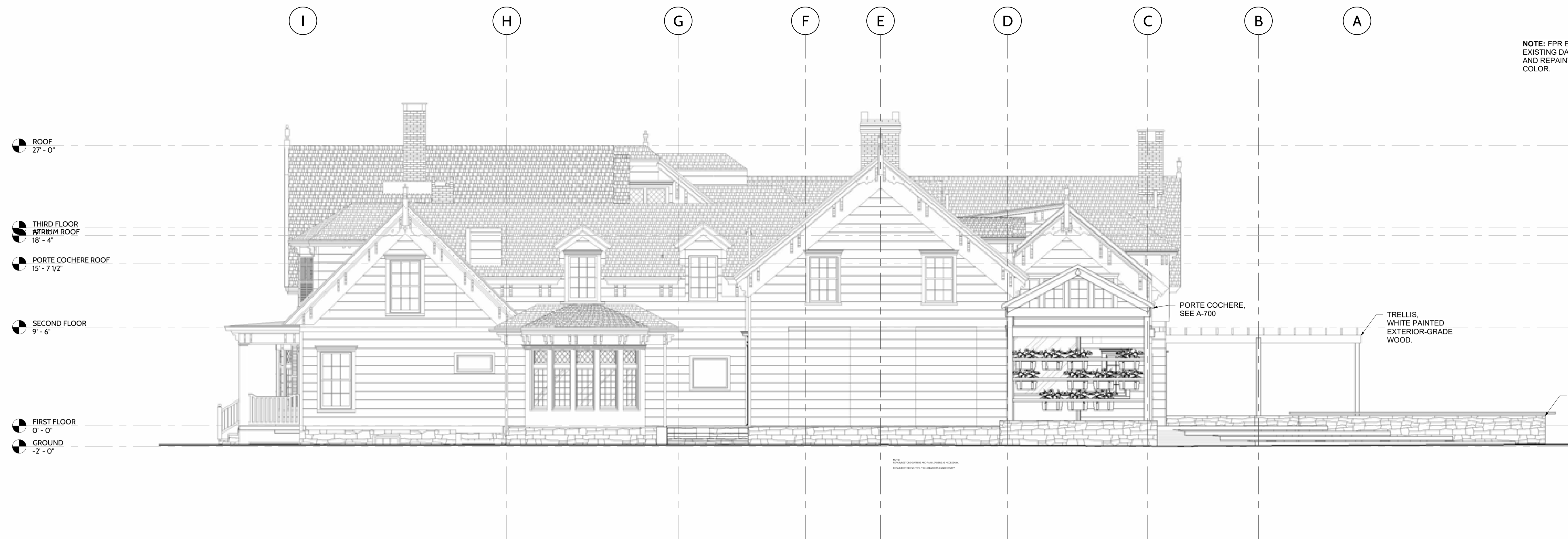
A-210
1

2
A-300

1
A-300

A-201
2

A-200
2



1 NORTH ELEVATION- PROPOSED
SCALE: 3/16" = 1'-0"

NOTE: FPR EXTERIOR FINISH. REPAIR EXISTING DAMAGED TRIM AS NECESSARY, AND REPAINT TO MATCH EXISTING COLOR.

Mapos

2 East Broadway, 7th Floor
New York, New York 10038
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2 SOUTH ELEVATION- PROPOSED
SCALE: 3/16" = 1'-0"

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

NORTH + SOUTH EXTERIOR ELEVATIONS

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-200



NOTE: FPR EXTERIOR FINISH, REPAIR EXISTING DAMAGED TRIM AS NECESSARY, AND REPAINT TO MATCH EXISTING COLOR.

Mapos

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New York, New York 10038
Tel: 212-529-5005
info@studiosmapos.com

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DATE 12/21/22
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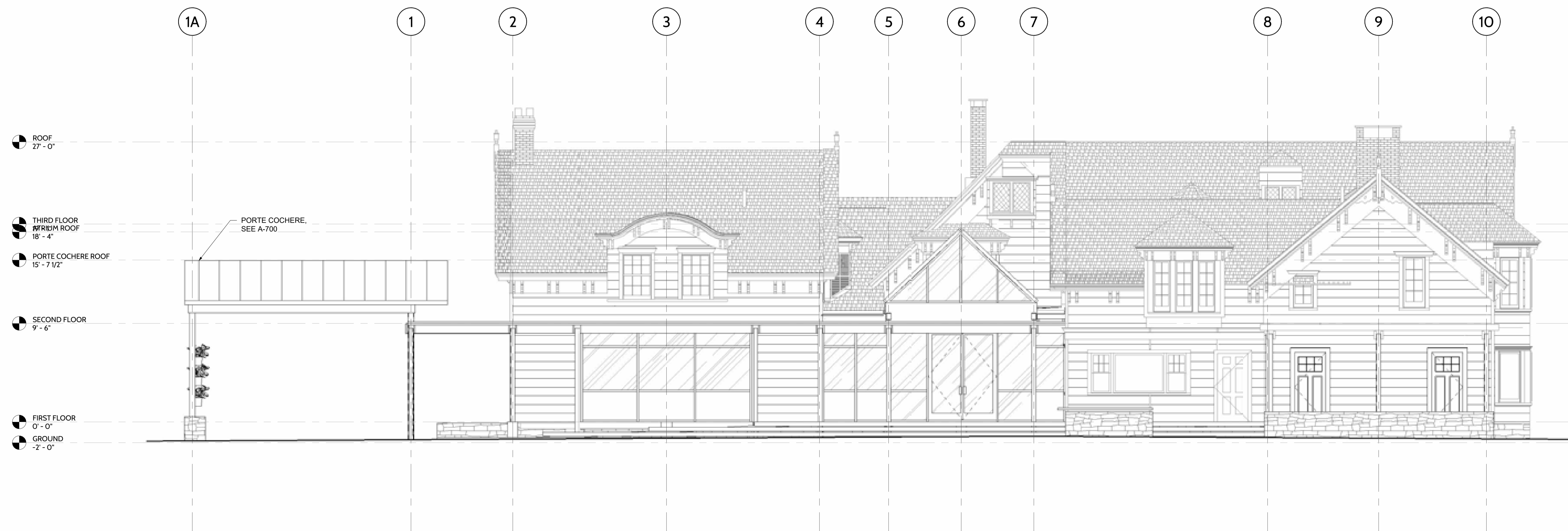
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2 EAST ELEVATION- PROPOSED
SCALE: 3/16" = 1'-0"

SEAL

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PROJECT NAME
THE INN AT KIRKSIDE

PROJECT LOCATION
**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

EAST + WEST EXTERIOR ELEVATIONS

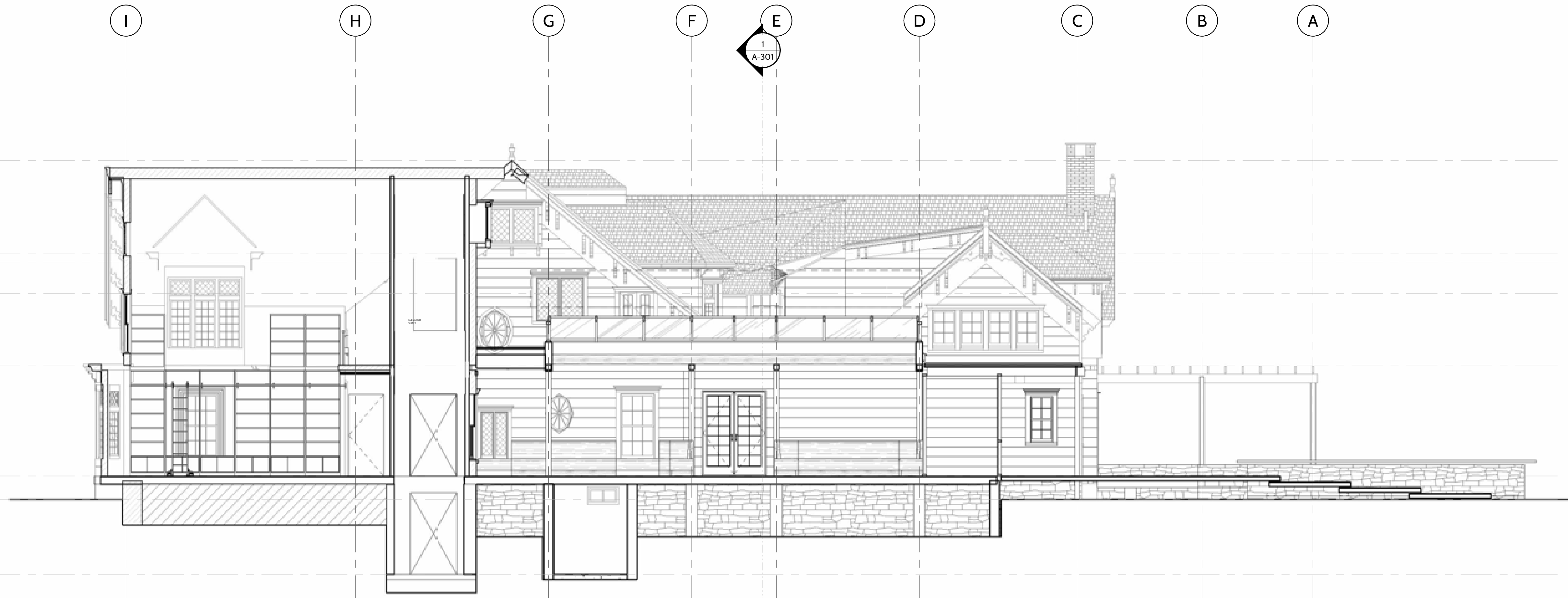
PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-201

1 WEST ELEVATION- PROPOSED
SCALE: 3/16" = 1'-0"

- ROOF
27' - 0"
- THIRD FLOOR
ATTIC ROOF
18' - 4"
- PORTE COCHERE ROOF
15' - 7 1/2"
- SECOND FLOOR
9' - 6"
- FIRST FLOOR
0' - 0"
- GROUND
-2' - 0"
- BASEMENT
-8' - 5"



2 SECTION BB
SCALE: 3/16" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

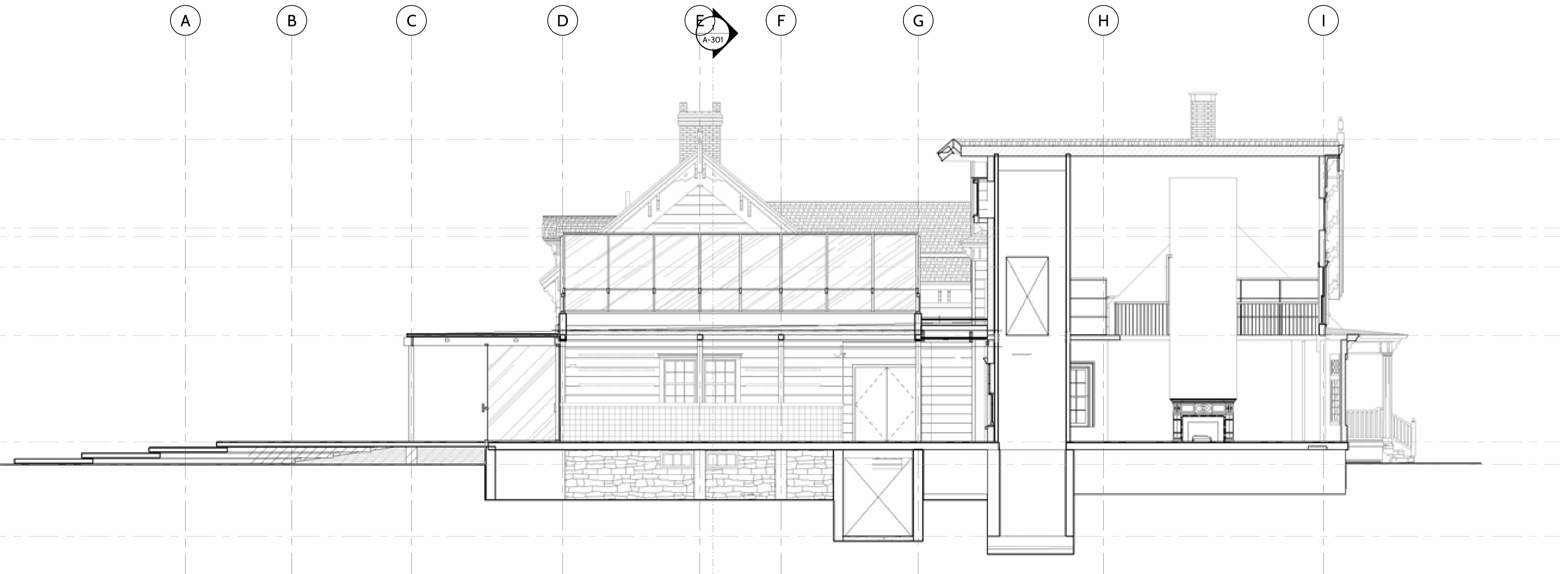
REVISIONS

NO.	DATE	COMMENTS

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CONSTRUCTION

- ROOF
27' - 0"
- THIRD FLOOR
ATTIC ROOF
18' - 4"
- PORTE COCHERE ROOF
15' - 7 1/2"
- SECOND FLOOR
9' - 6"
- FIRST FLOOR
0' - 0"
- GROUND
-2' - 0"
- BASEMENT
-8' - 5"



1 SECTION AA
SCALE: 3/16" = 1'-0"

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

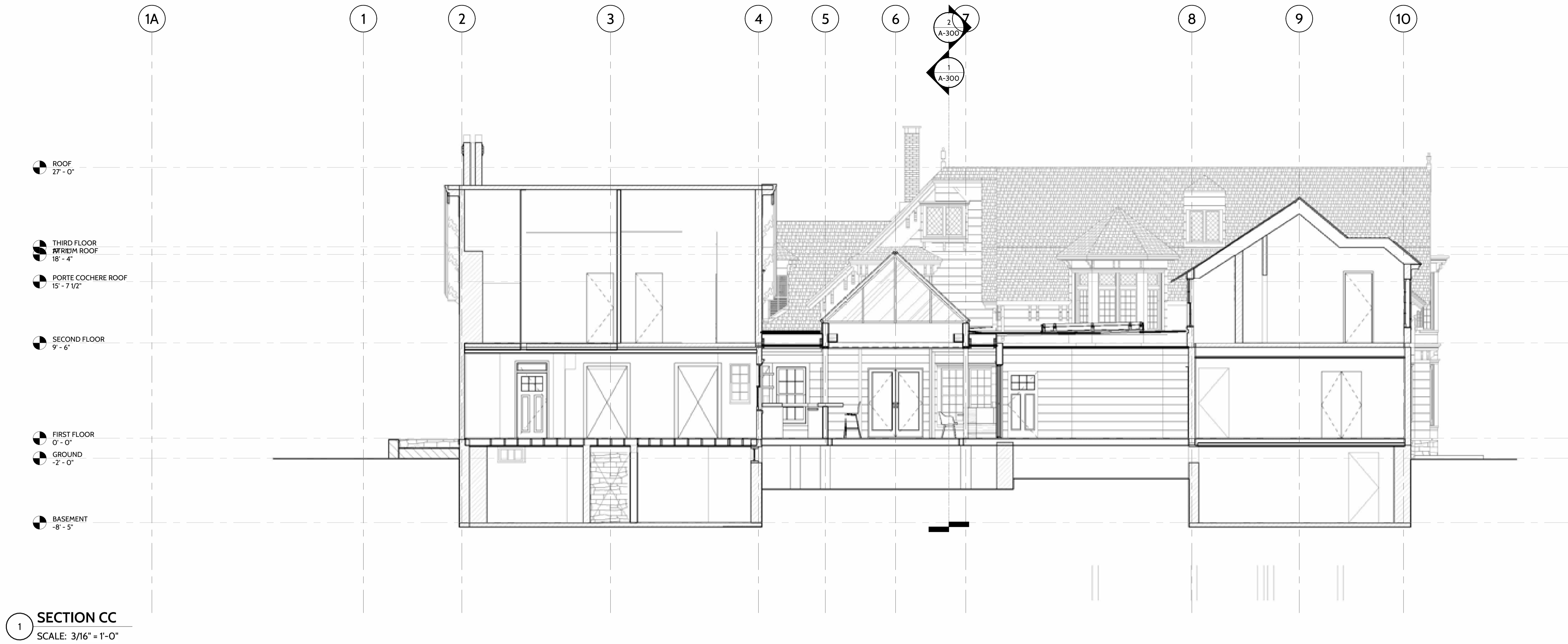
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

BUILDING SECTIONS AA +
BB - PROPOSED

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-300



SECTION CC
SCALE: 3/16" = 1'-0"

SHEET ISSUE

DATE	12/21/22
ISSUE NAME	50% DD: Food & Beverage

REVISIONS

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CONSTRUCTION**

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

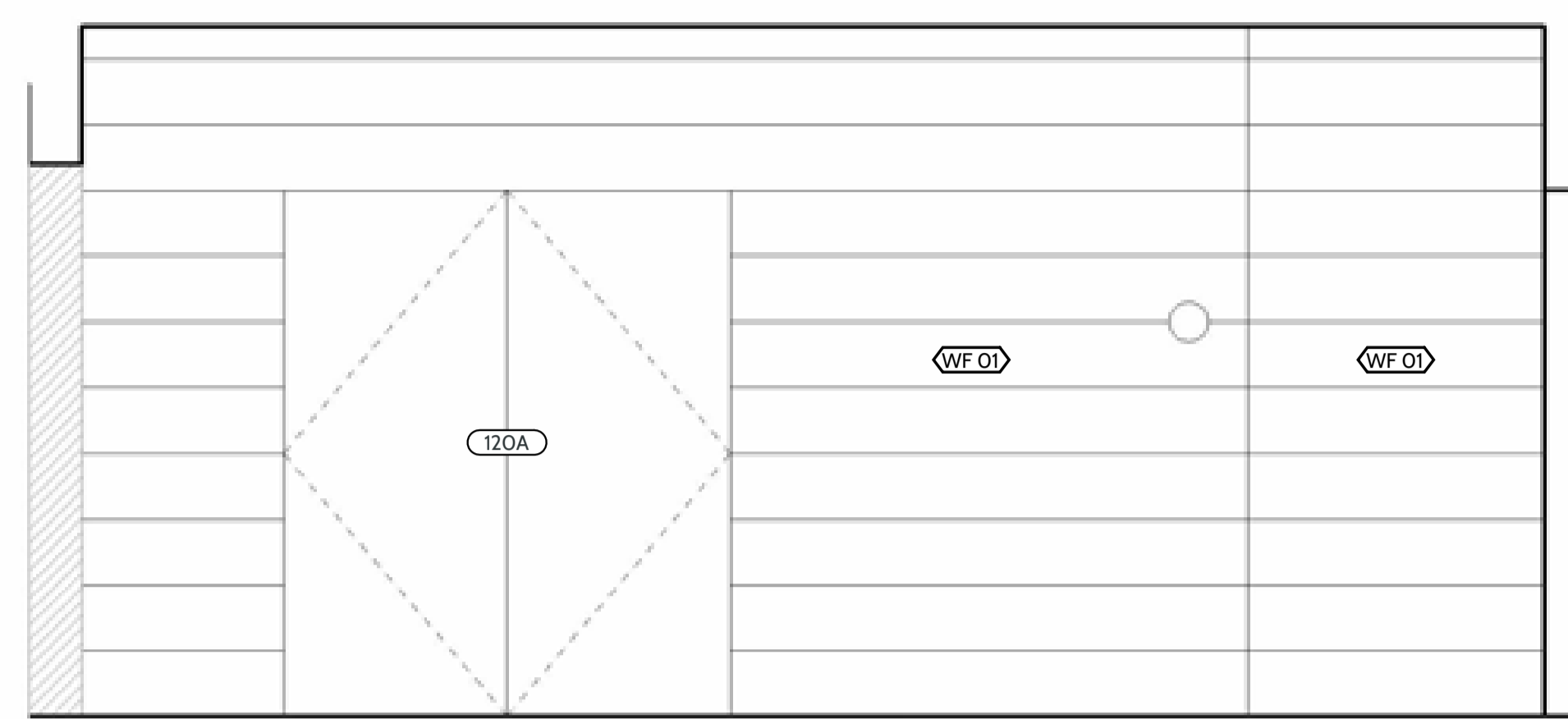
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

**BUILDING SECTION CC -
PROPOSED**

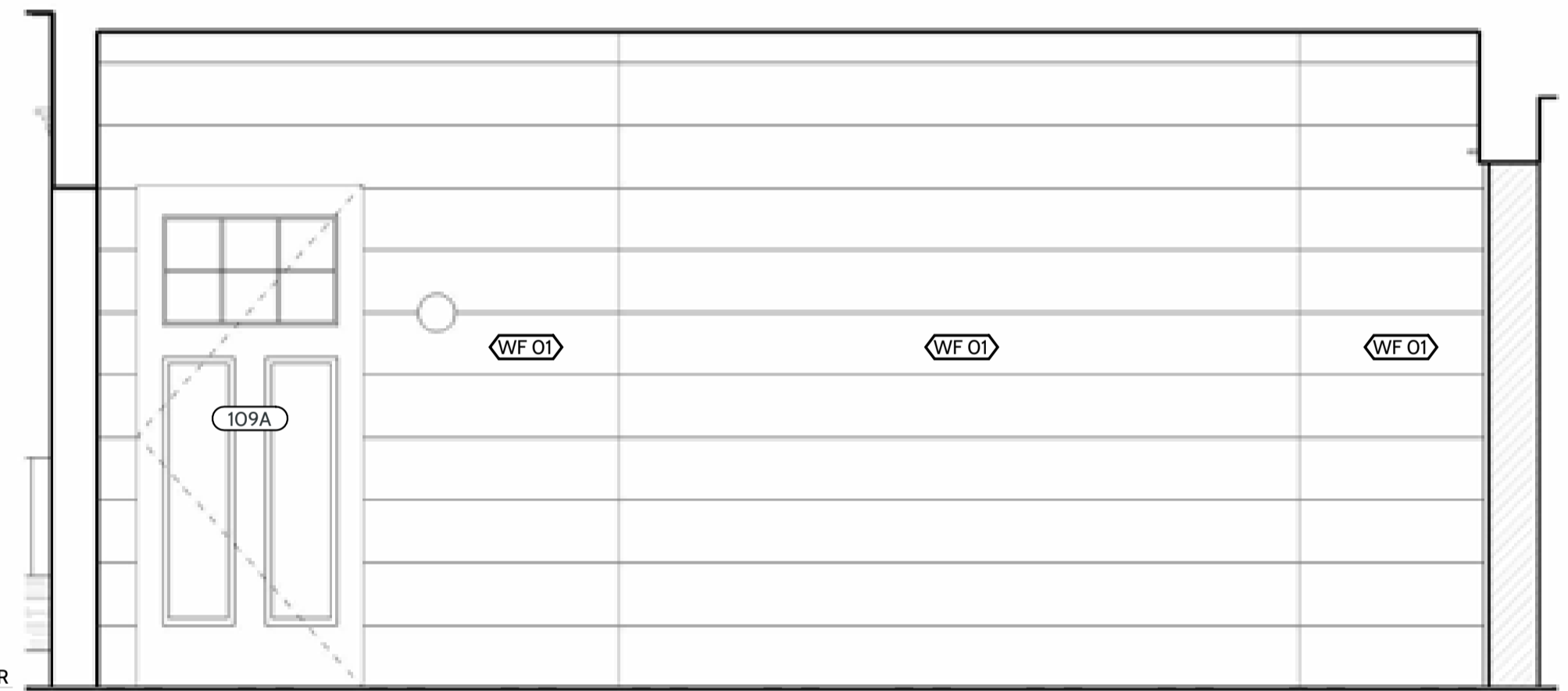
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DRAWN BY	AL
CHECKED BY	CB

SHEET SIZE	24" x 36"
SHEET NUMBER	

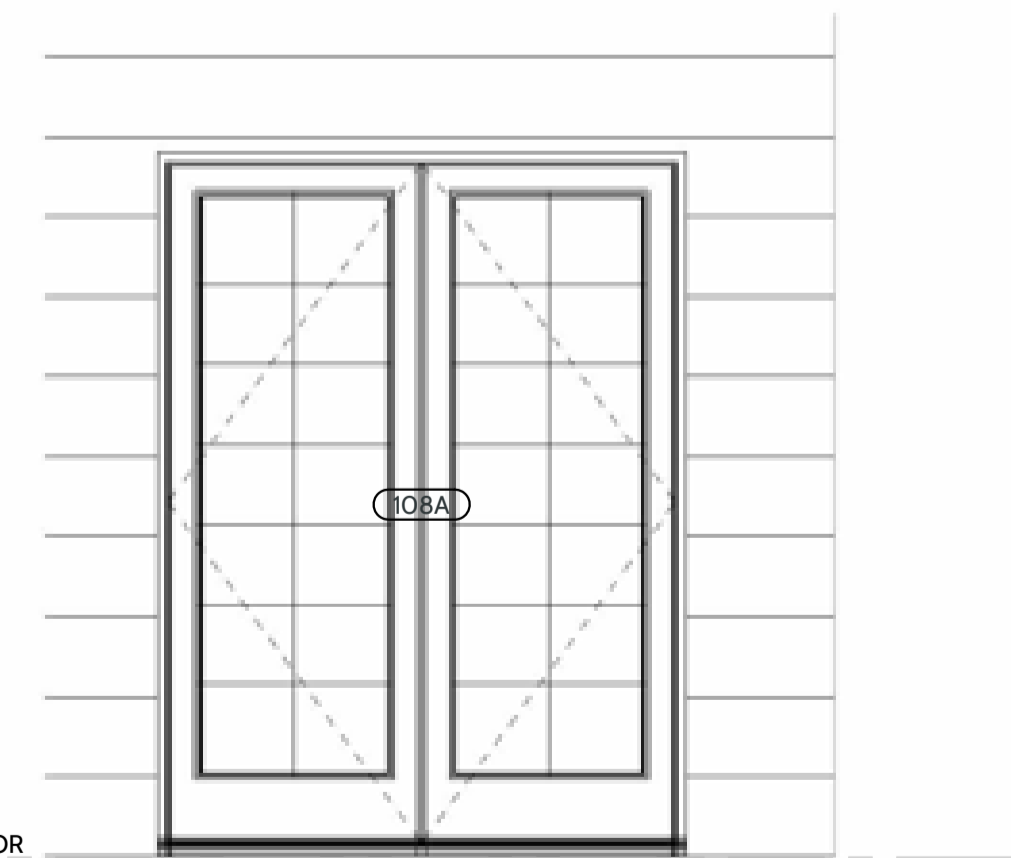
A-301



5 BATHROOM HALLWAY W ELEVATION
SCALE: 1/2" = 1'-0"



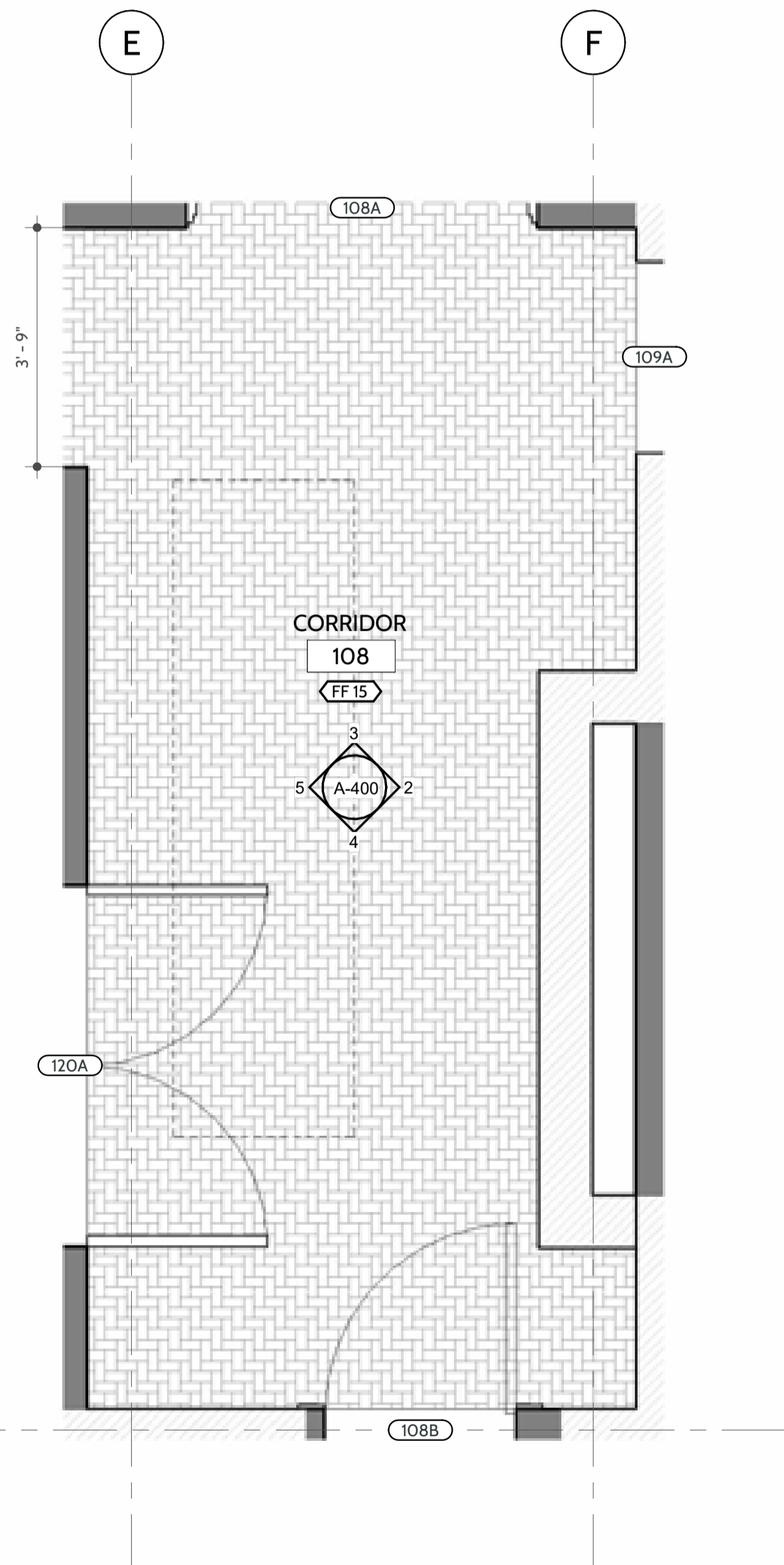
2 BATHROOM HALLWAY E ELEVATION
SCALE: 1/2" = 1'-0"



3 BATHROOM HALLWAY N ELEVATION
SCALE: 1/2" = 1'-0"



4 BATHROOM HALLWAY S ELEVATION
SCALE: 1/2" = 1'-0"



1 BATHROOM HALLWAY PLAN
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

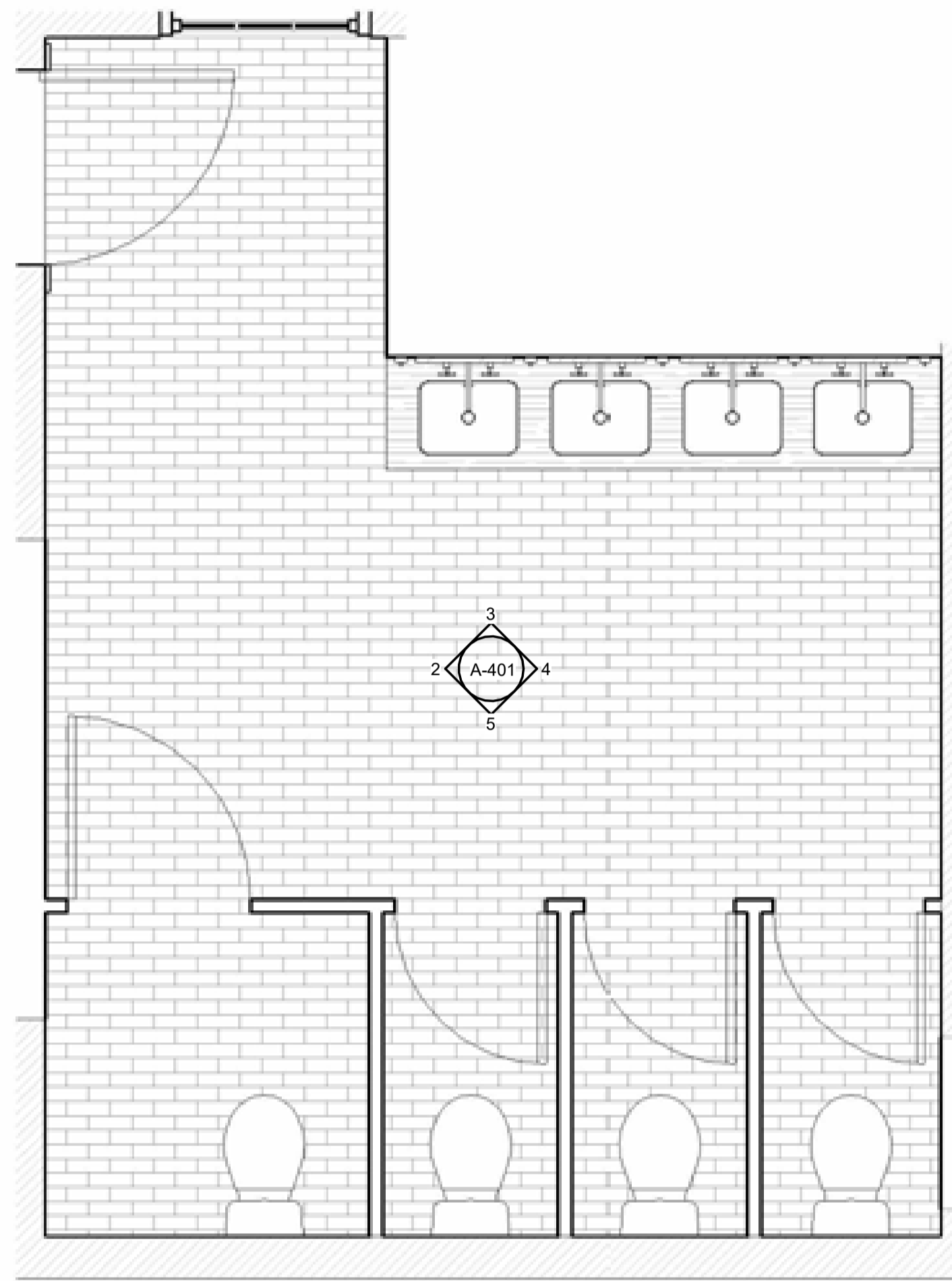
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

BATHROOM HALLWAY ELEVATIONS

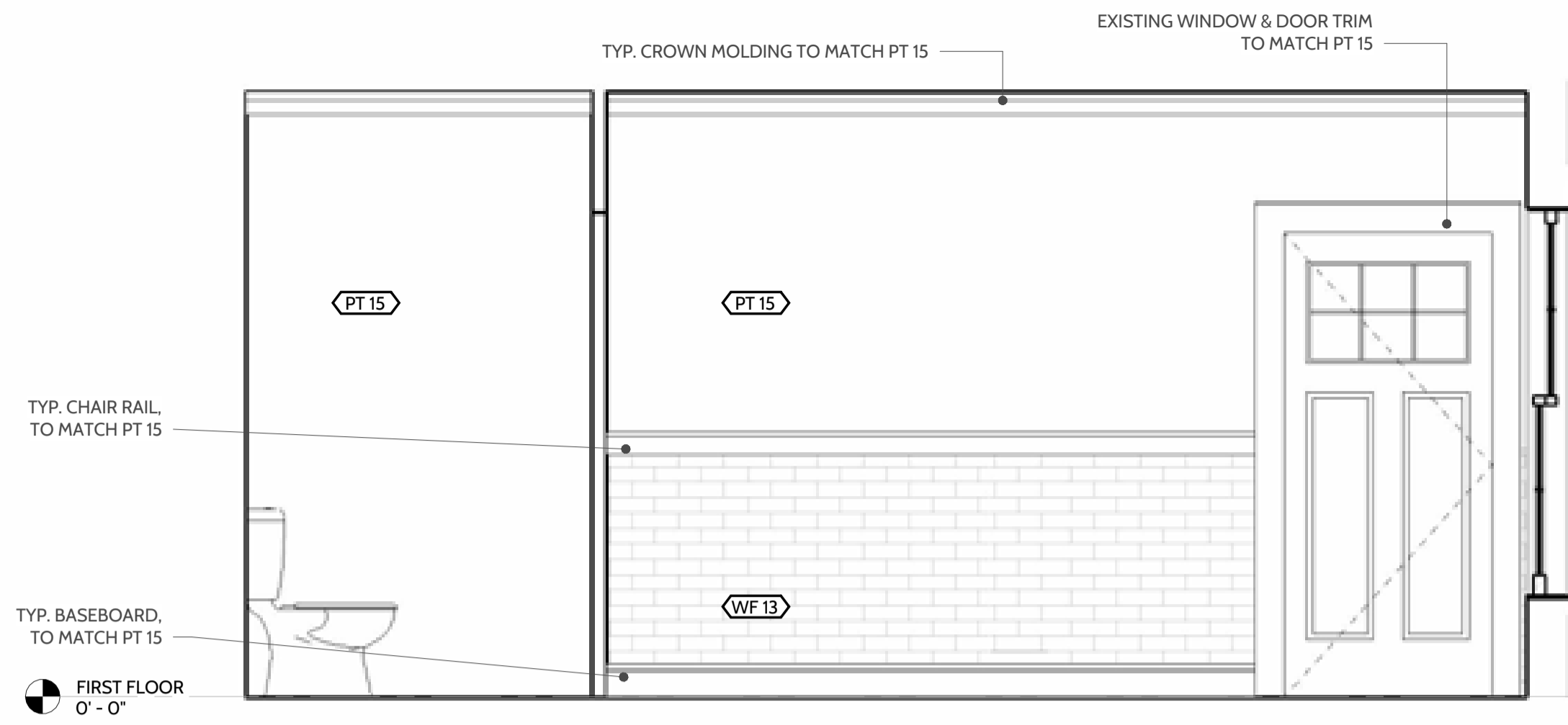
PROJECT NUMBER 2206
DRAWN BY Author
CHECKED BY Checker

SHEET SIZE 24" x 36"
SHEET NUMBER

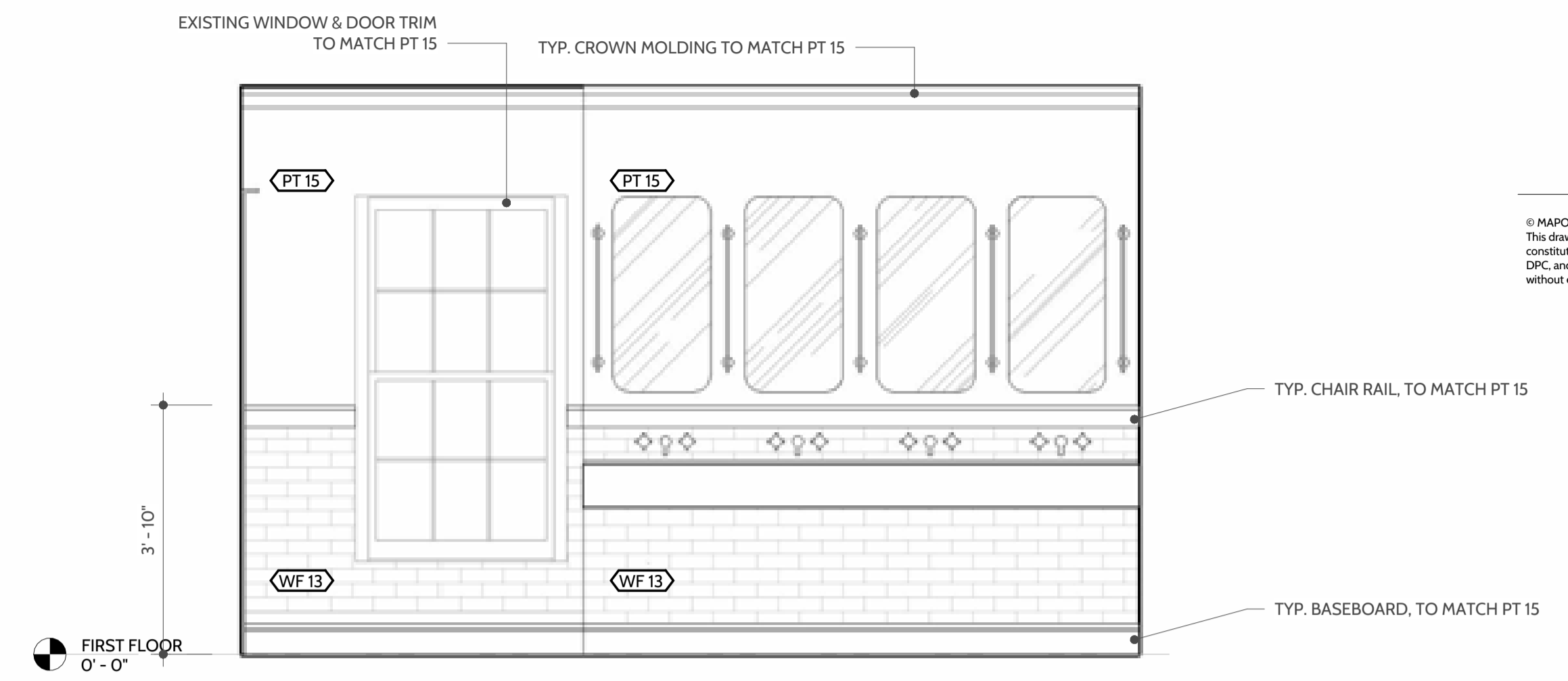
A-400



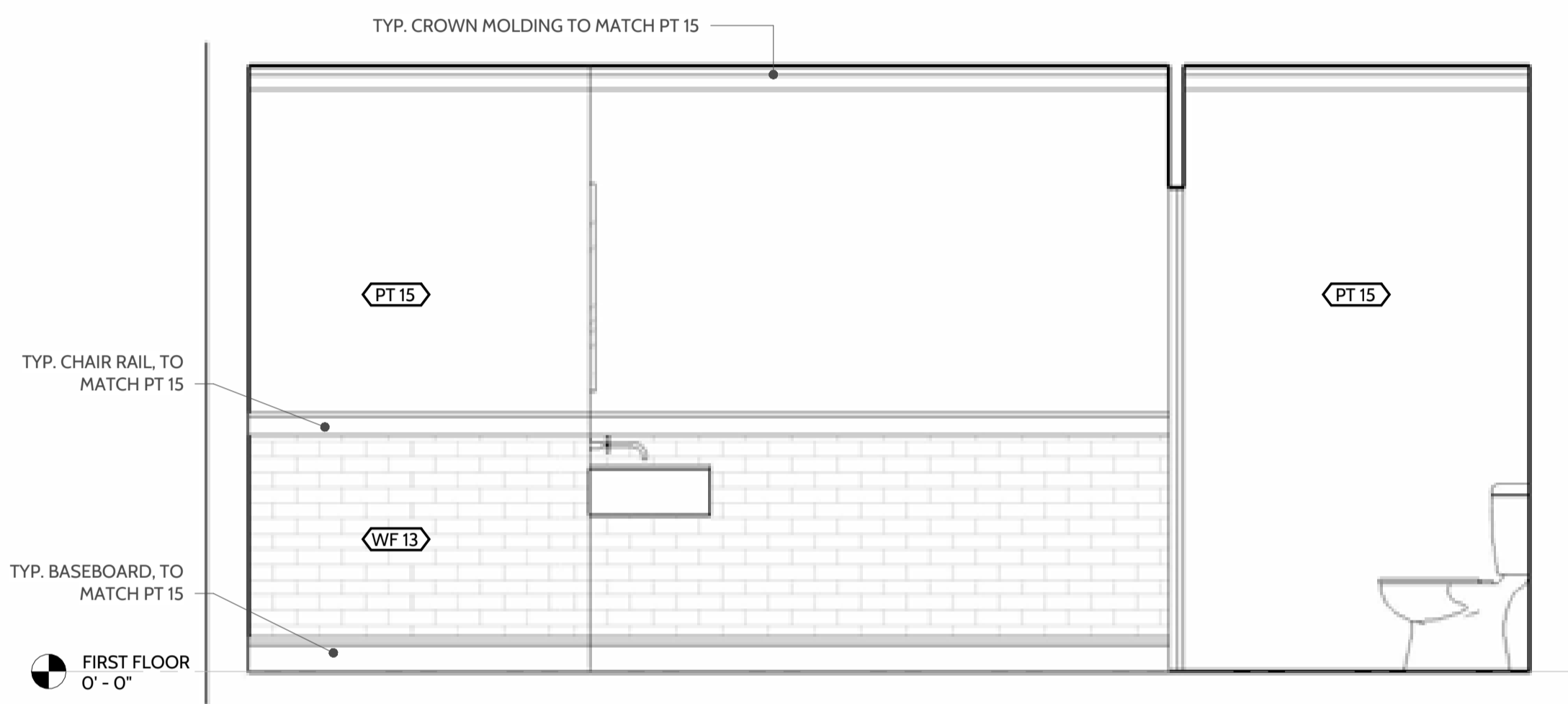
1 RESTROOM PLAN
SCALE: 1/2" = 1'-0"



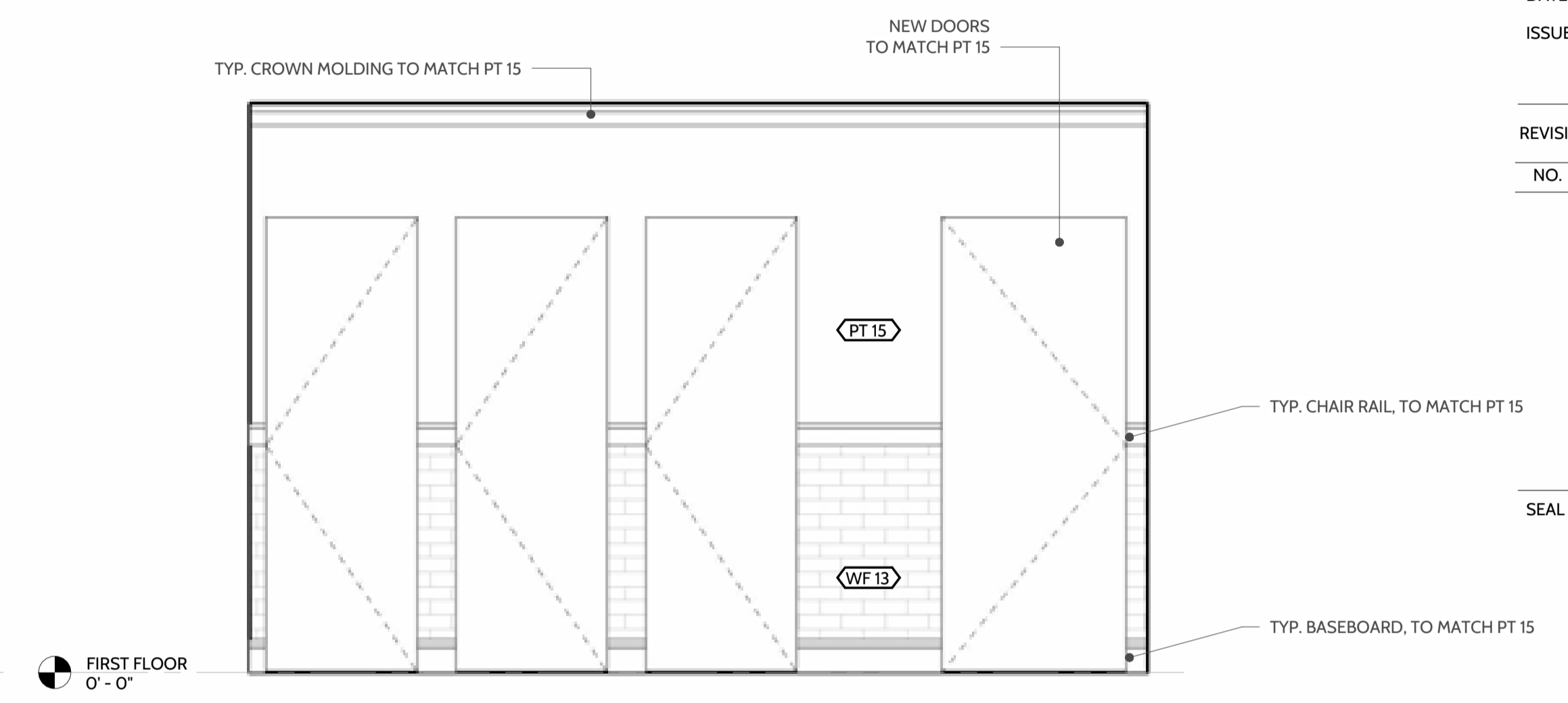
2 RESTROOM WEST ELEVATION
SCALE: 1/2" = 1'-0"



3 RESTROOM NORTH ELEVATION
SCALE: 1/2" = 1'-0"



4 RESTROOM EAST ELEVATION
SCALE: 1/2" = 1'-0"



5 RESTROOM SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

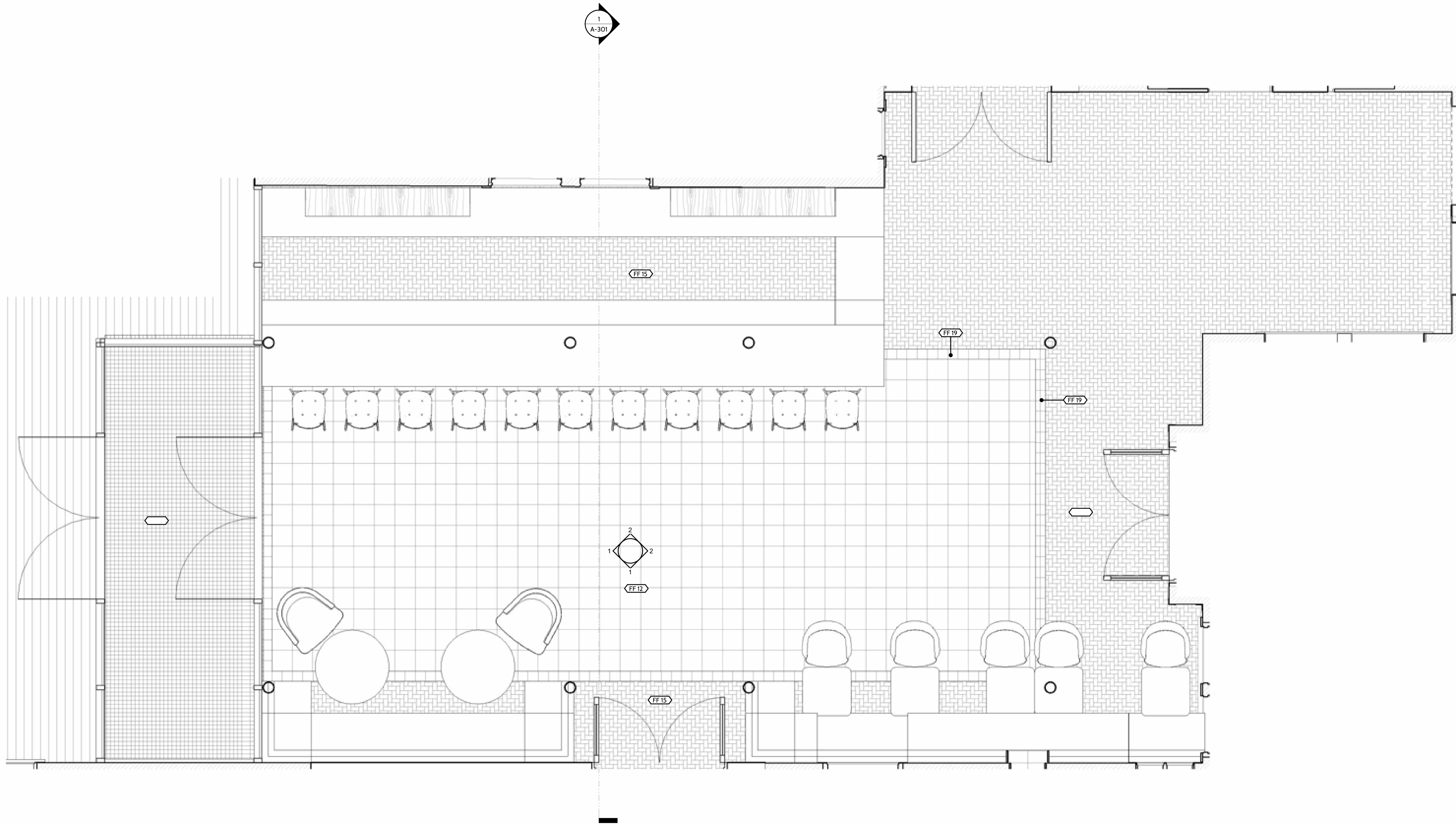
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

RESTROOM INTERIOR ELEVATIONS

PROJECT NUMBER 2206
DRAWN BY DM
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-401



SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

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PROJECT NAME

THE INN AT KIRKSID

PROJECT LOCATION

53865 STATE HIGHWAY 30
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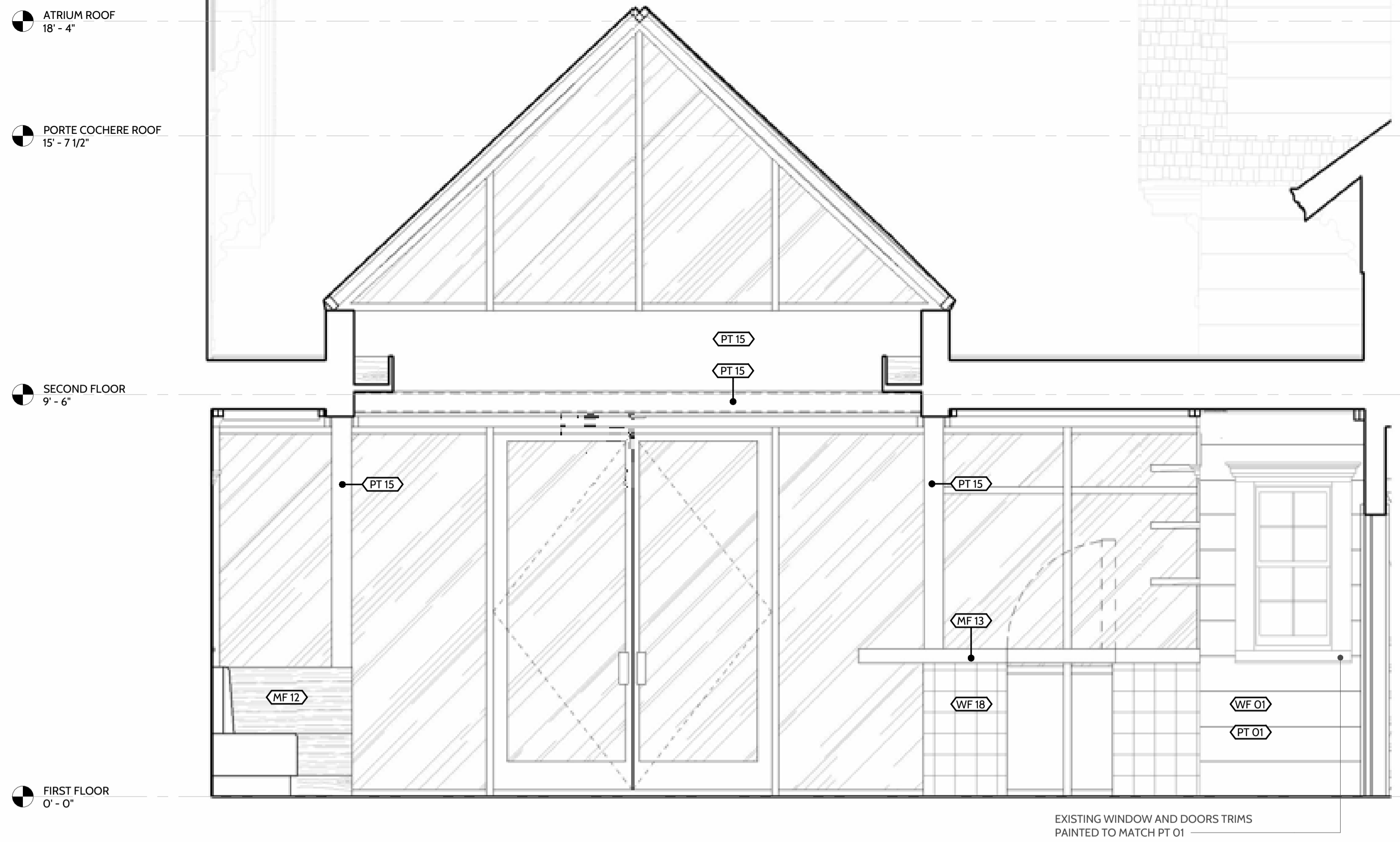
ATRIUM ENLARGED PLAN

PROJECT NUMBER 2206
DRAWN BY Author
CHECKED BY Checker

SHEET SIZE 24" x 36"
SHEET NUMBER

A-402

1 ATRIUM PLAN
SCALE: 1/2" = 1'-0"



1 ATRIUM W INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 ATRIUM E INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE	12/21/22
ISSUE NAME	50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

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PROJECT NAME
THE INN AT KIRKSIDE

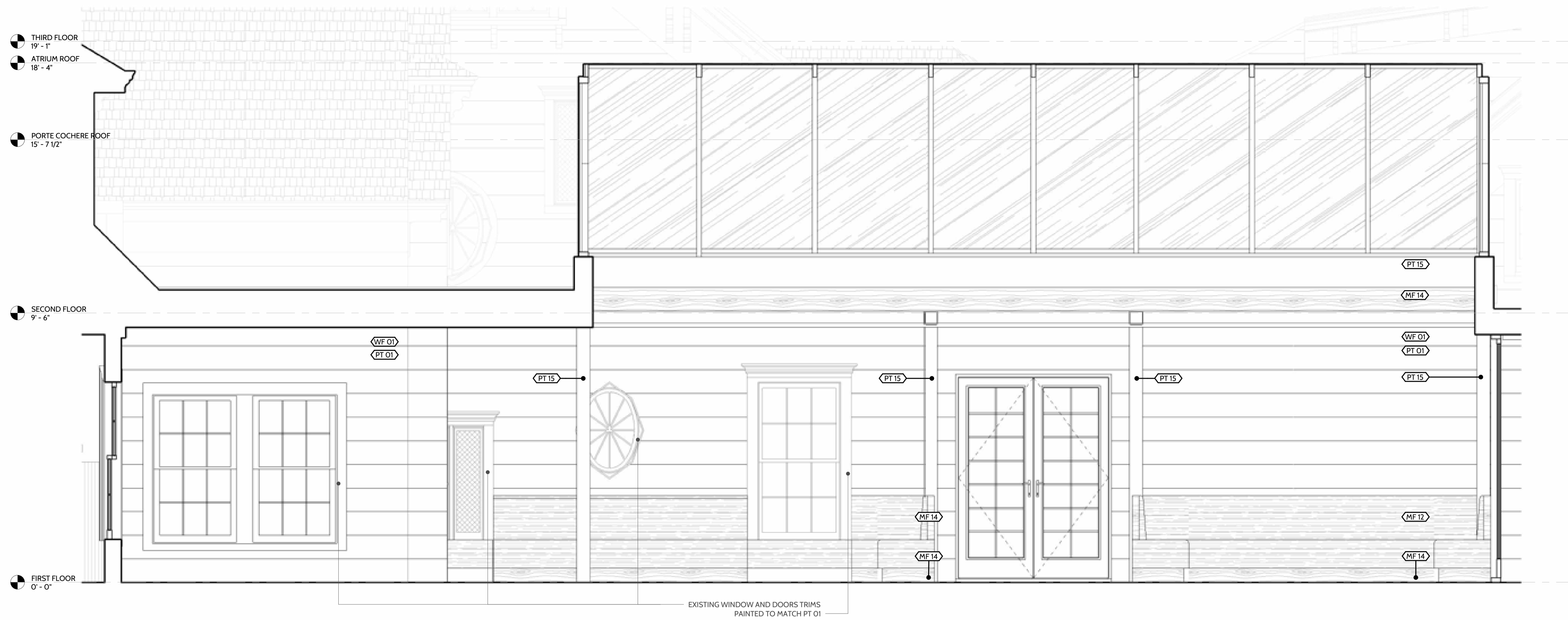
PROJECT LOCATION
**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

**ATRIUM INTERIOR
ELEVATION 01**

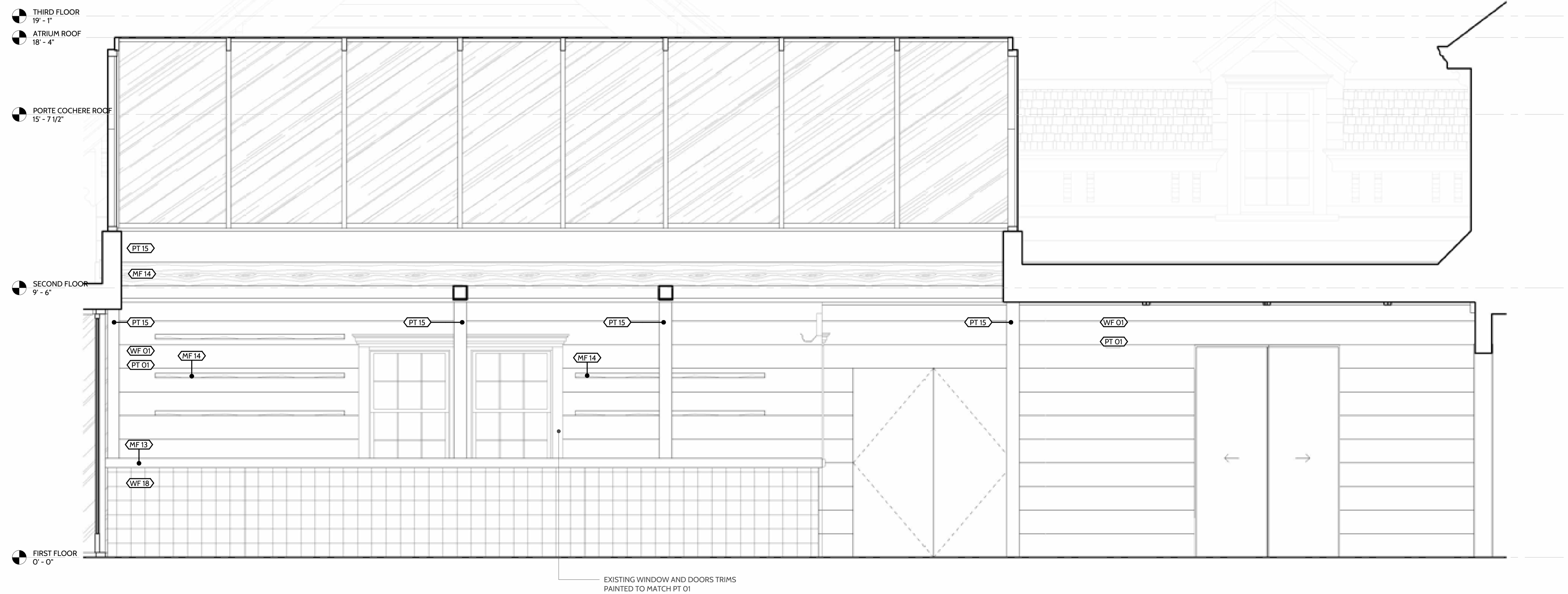
PROJECT NUMBER 2206
DRAWN BY Author
CHECKED BY Checker

SHEET SIZE 24" x 36"
SHEET NUMBER

A-403



1 ATRIUM SOUTH INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 ATRIUM NORTH INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS
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SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

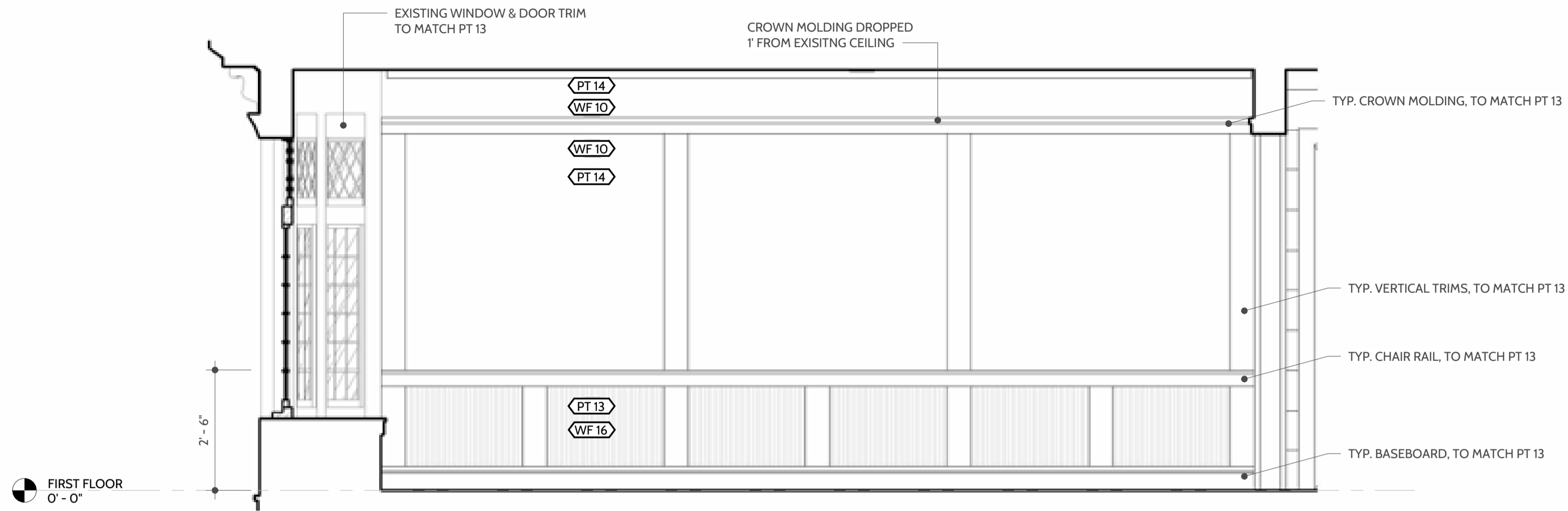
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

ATRIUM INTERIOR ELEVATION 02

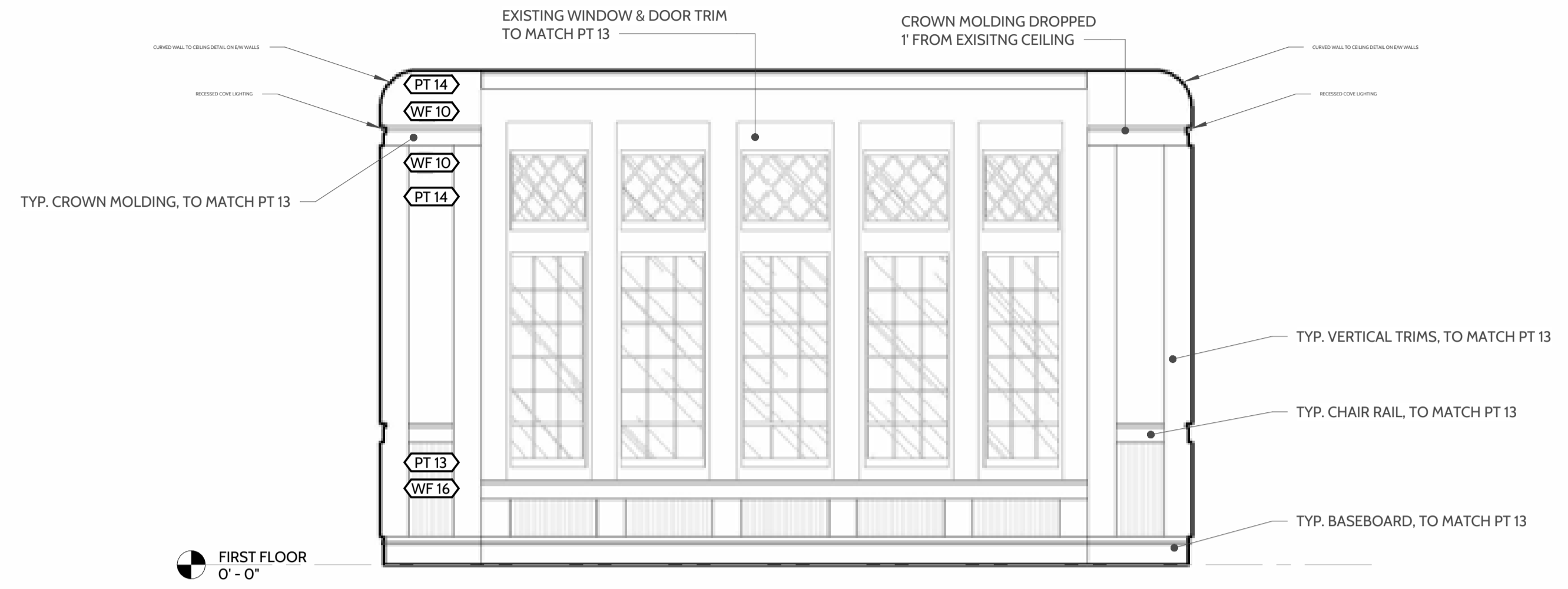
PROJECT NUMBER 2206
DRAWN BY Author
CHECKED BY Checker

SHEET SIZE 24" x 36"
SHEET NUMBER

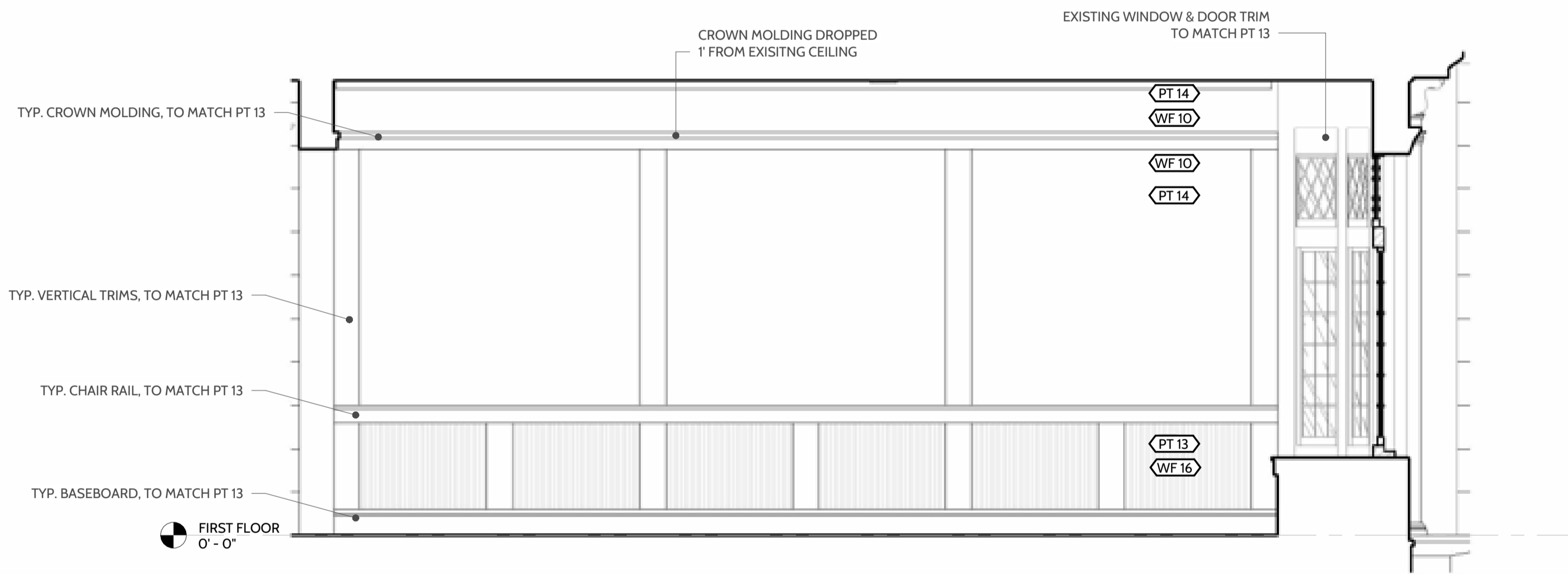
A-404



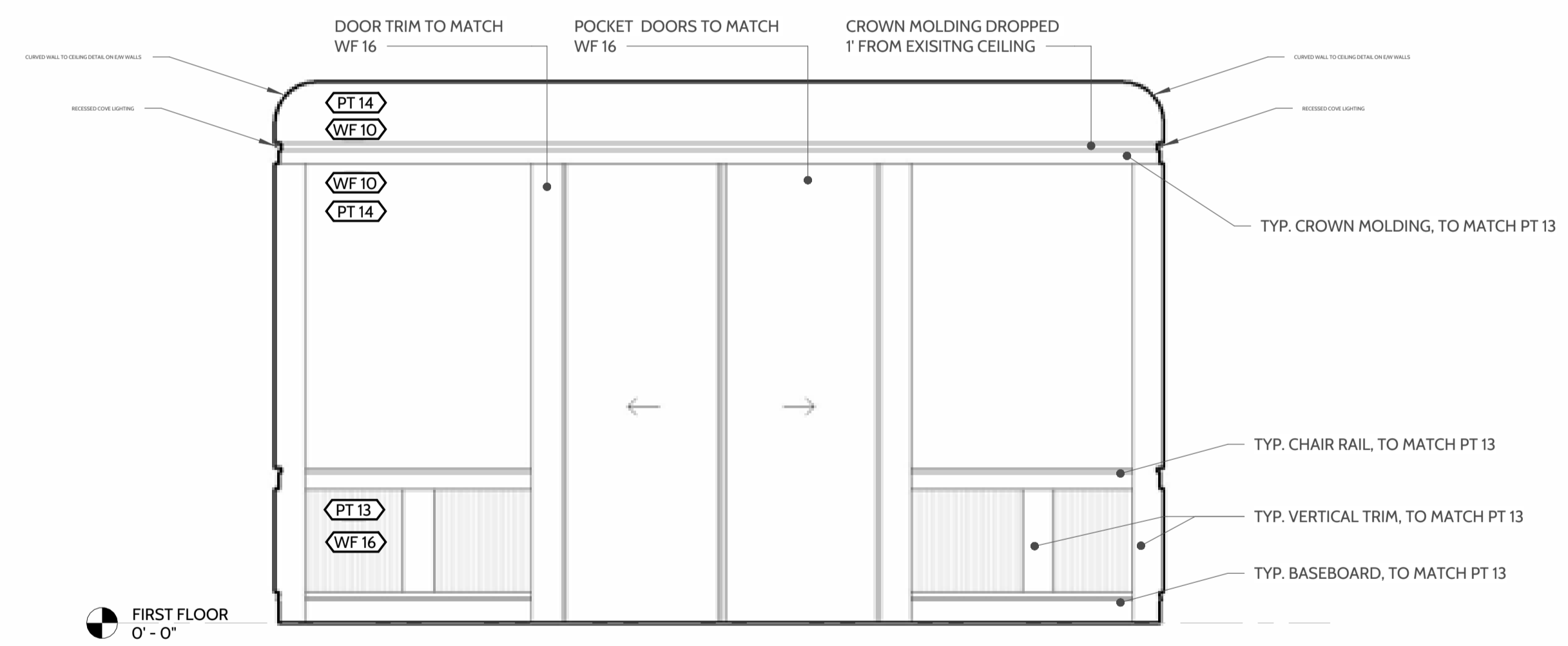
1 **YELLOW ROOM E ELEVATION**
SCALE: 1/2" = 1'-0"



2 **YELLOW ROOM N ELEVATION**
SCALE: 1/2" = 1'-0"



4 **YELLOW ROOM W ELEVATION**
SCALE: 1/2" = 1'-0"



3 **YELLOW ROOM S ELEVATION**
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS
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SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

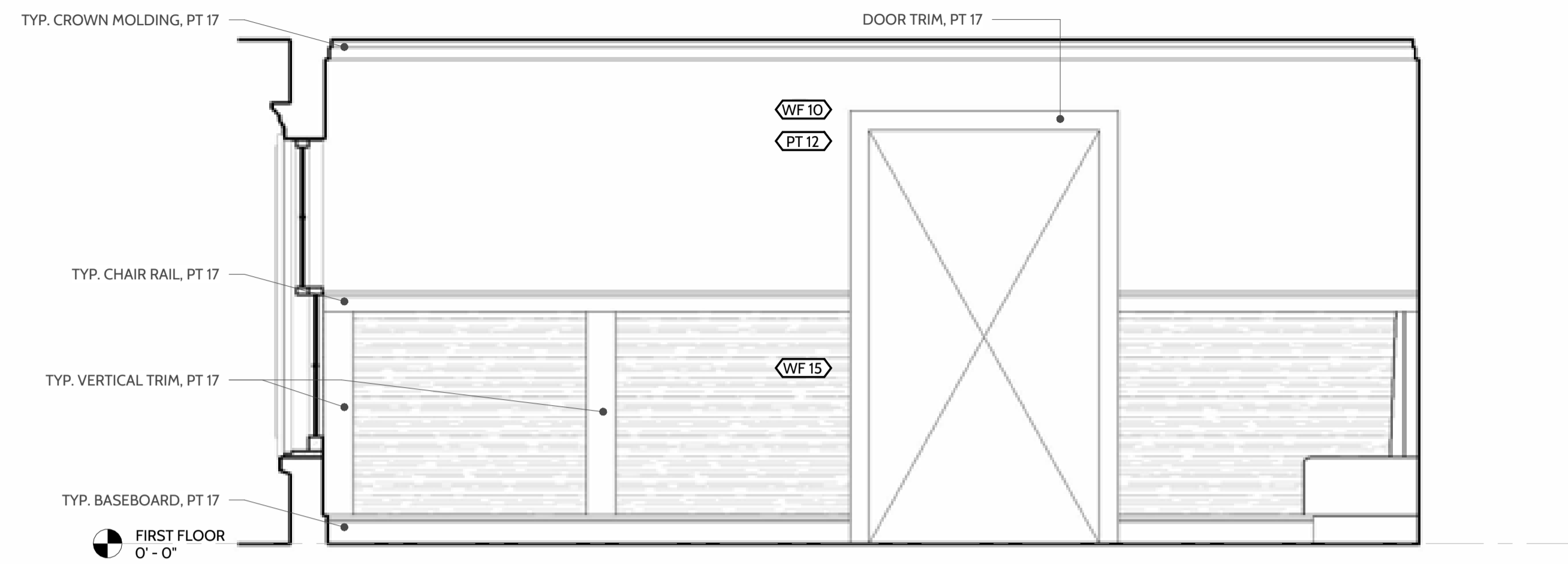
**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

**THE YELLOW ROOM
INTERIOR ELEVATIONS**

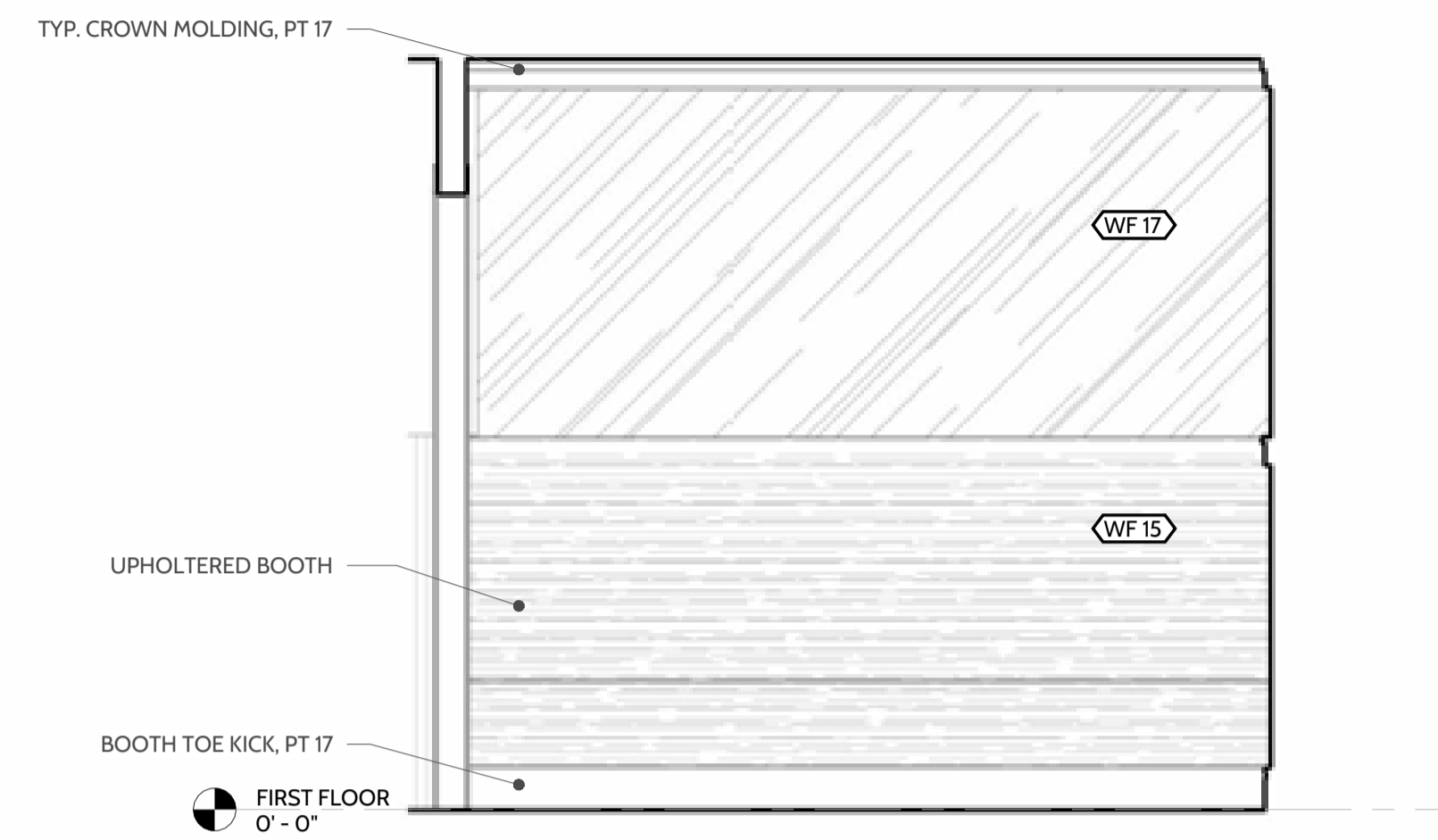
PROJECT NUMBER 2206
DRAWN BY DM
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

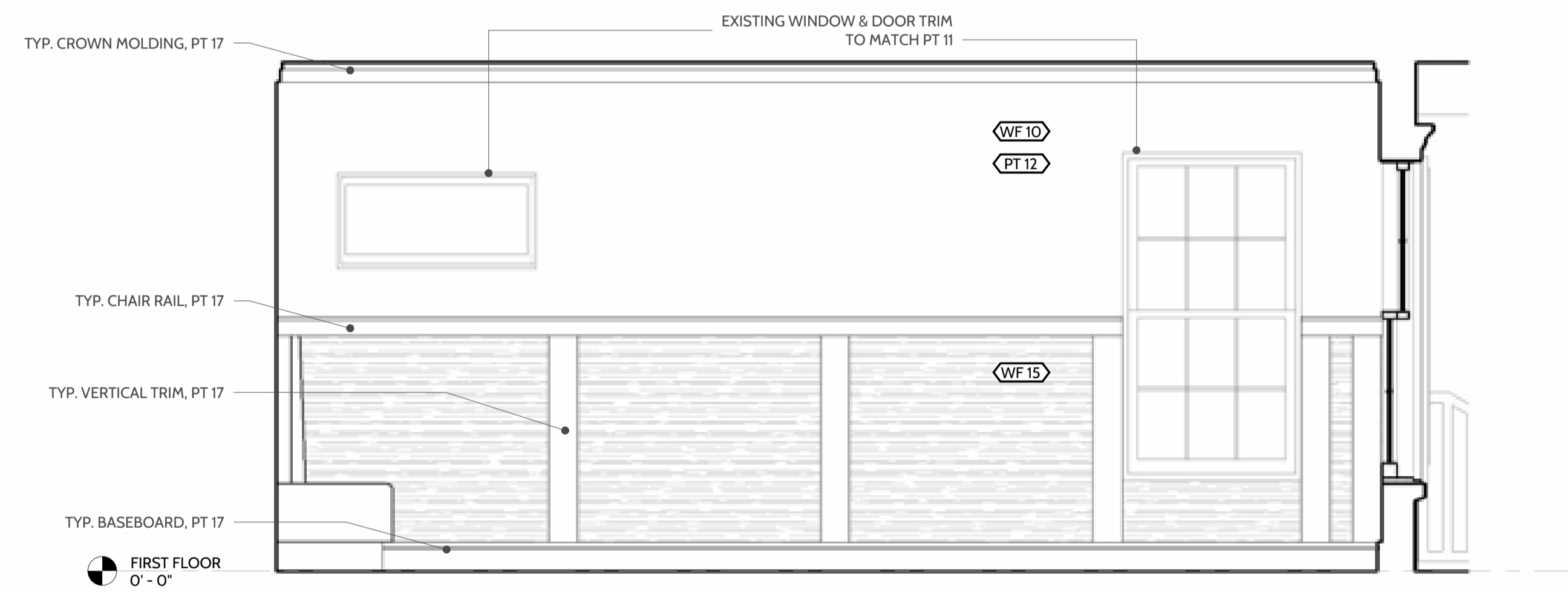
A-405



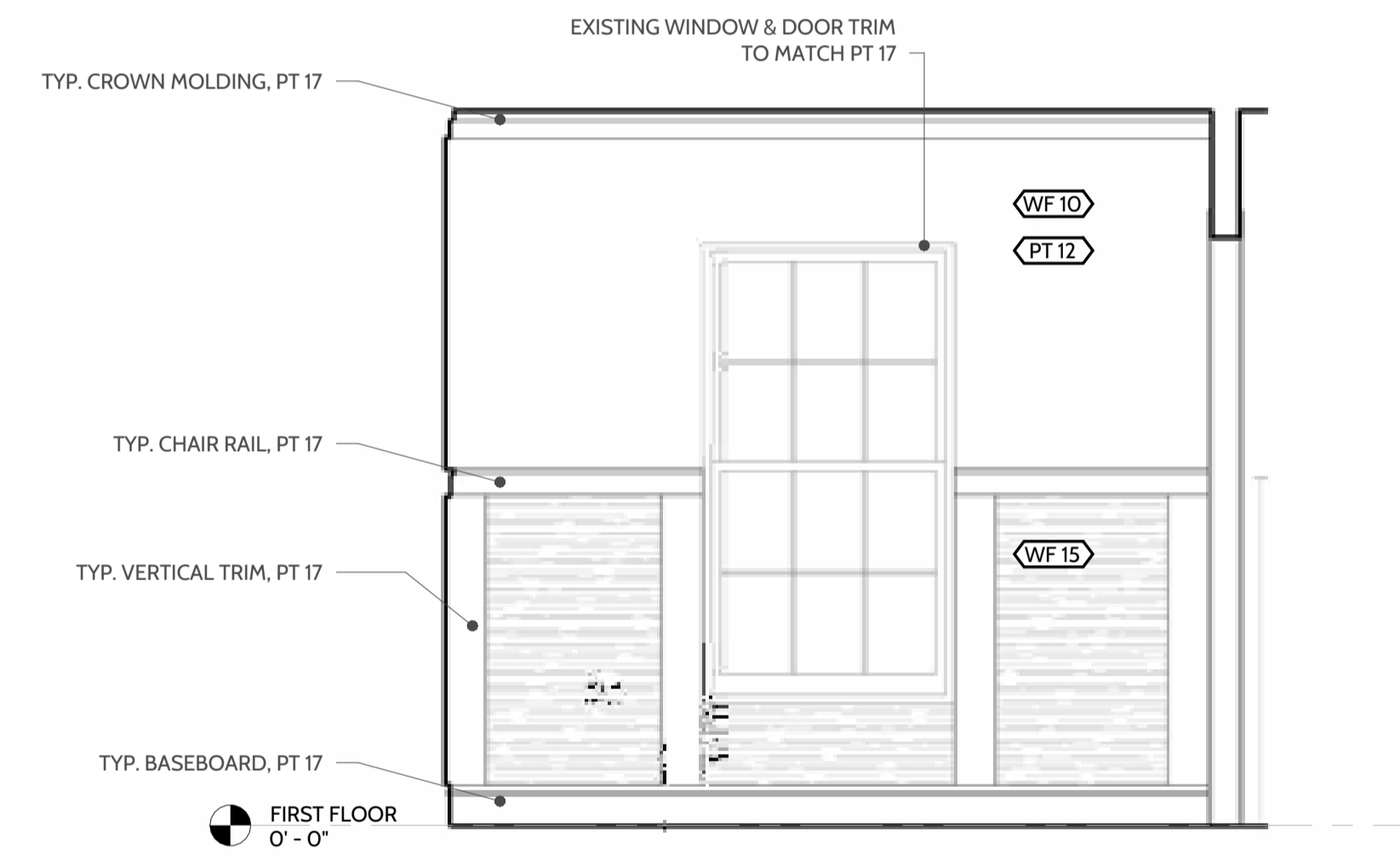
1 DINING ROOM 02 S ELEVATION
SCALE: 1/2" = 1'-0"



2 DINING ROOM 02 W ELEVATION
SCALE: 1/2" = 1'-0"



3 DINING ROOM 02 N ELEVATION
SCALE: 1/2" = 1'-0"



4 DINING ROOM 02 E ELEVATION
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE	12/21/22
ISSUE NAME	50% DD: Food & Beverage

REVISIONS

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

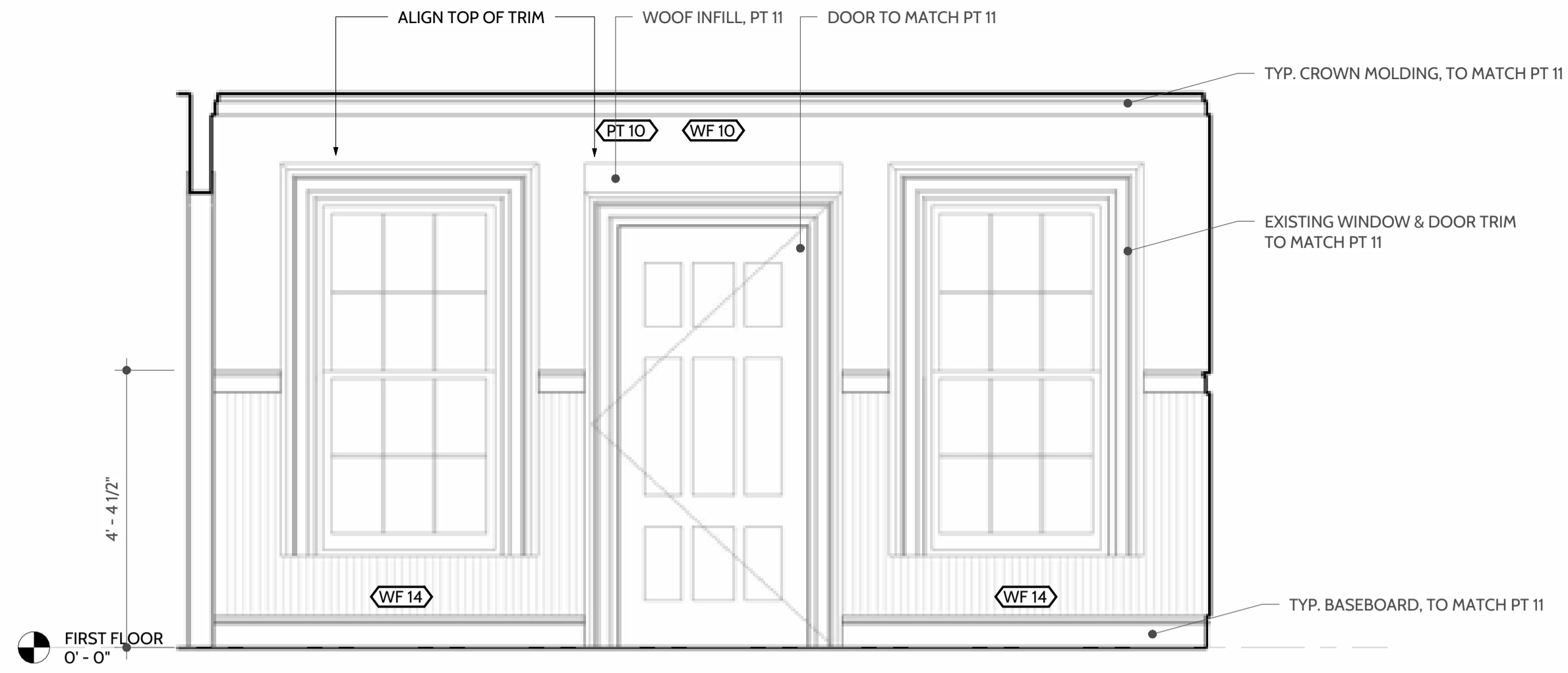
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

THE RED ROOM INTERIOR ELEVATIONS

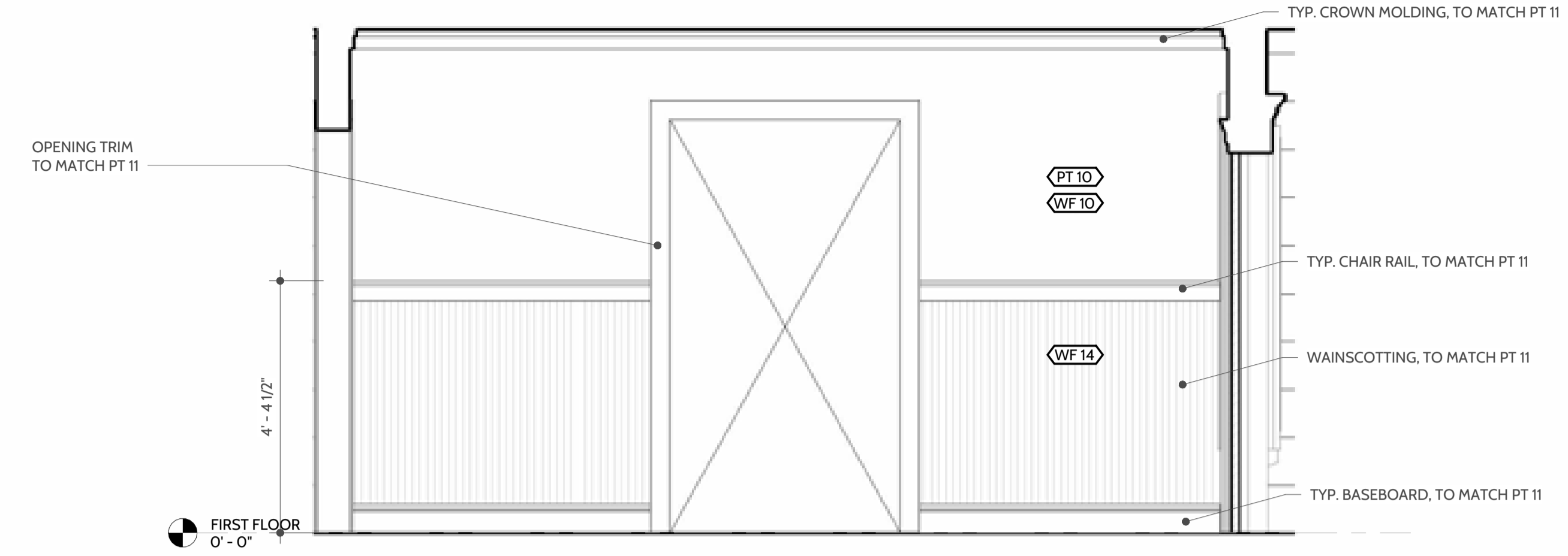
PROJECT NUMBER	2206
DRAWN BY	DM
CHECKED BY	CM

SHEET SIZE	24" x 36"
SHEET NUMBER	

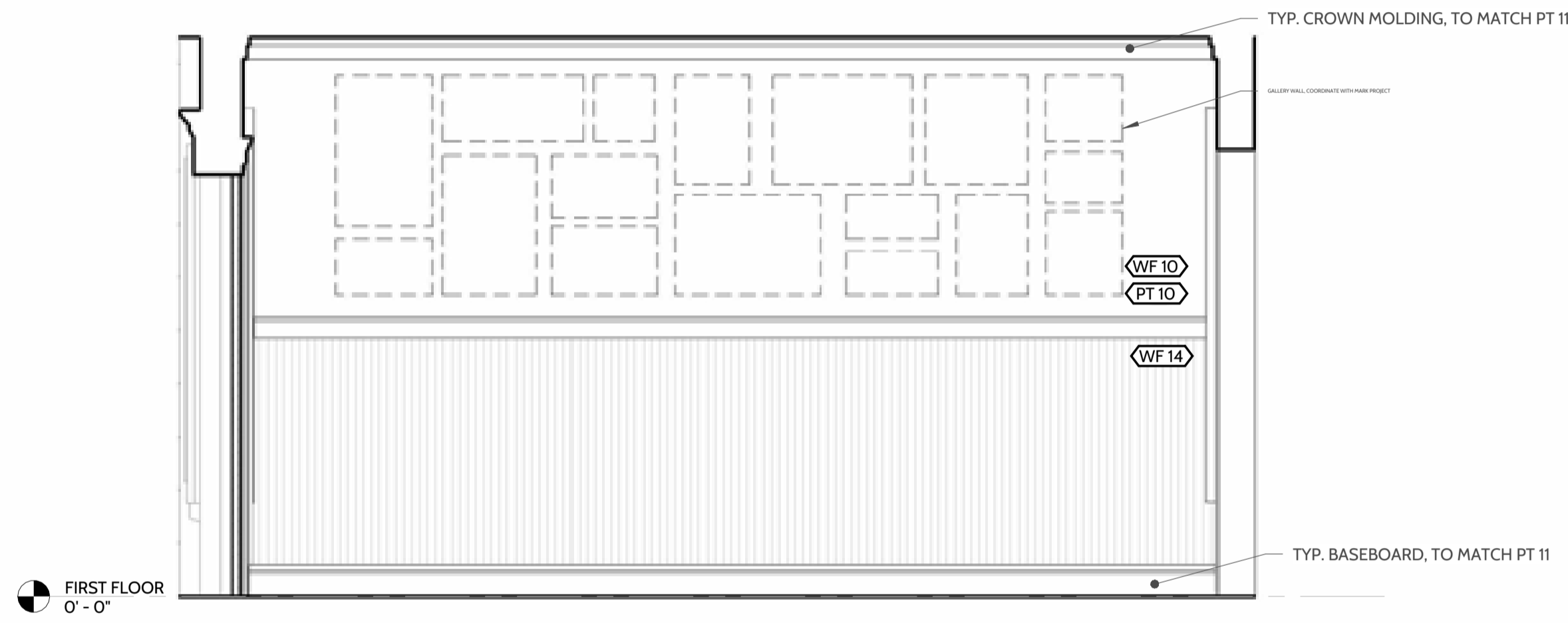
A-406



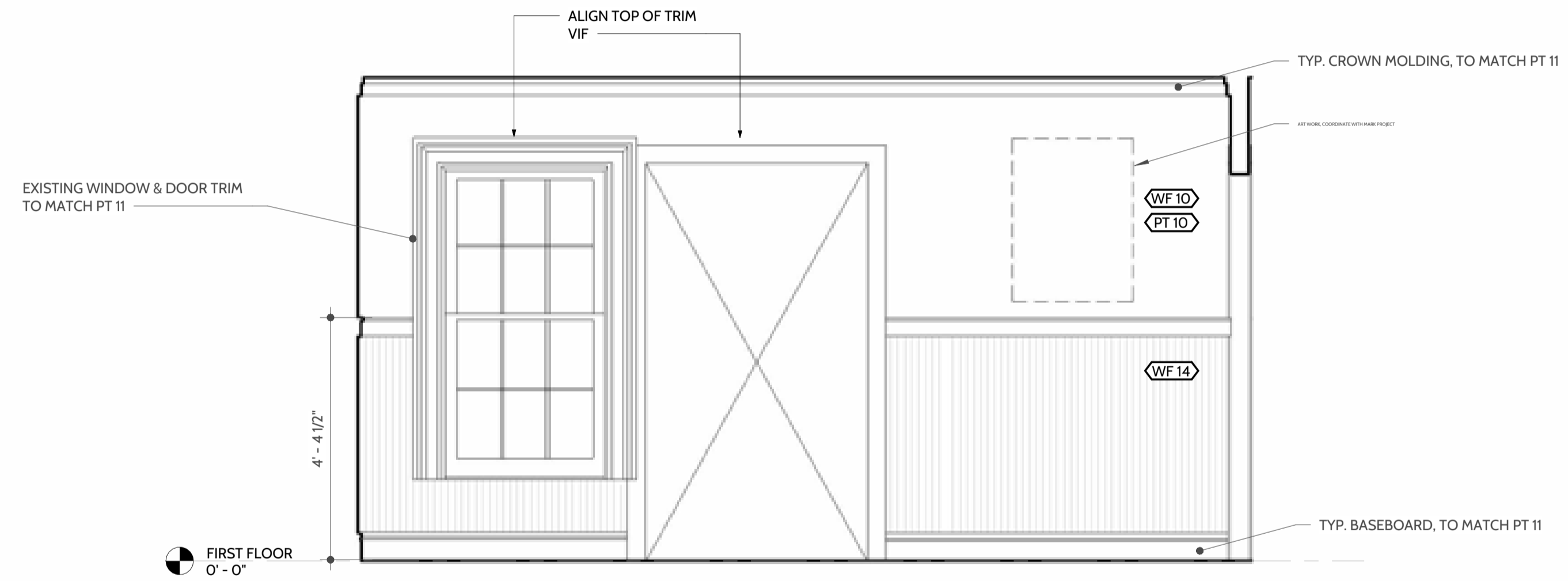
1 DINING ROOM 01 E ELEVATION
SCALE: 1/2" = 1'-0"



2 DINING ROOM 01 N ELEVATION
SCALE: 1/2" = 1'-0"



3 DINING ROOM 01 S ELEVATION
SCALE: 1/2" = 1'-0"



4 DINING ROOM 01 W ELEVATION
SCALE: 1/2" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS

SEAL

NOT FOR CONSTRUCTION

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

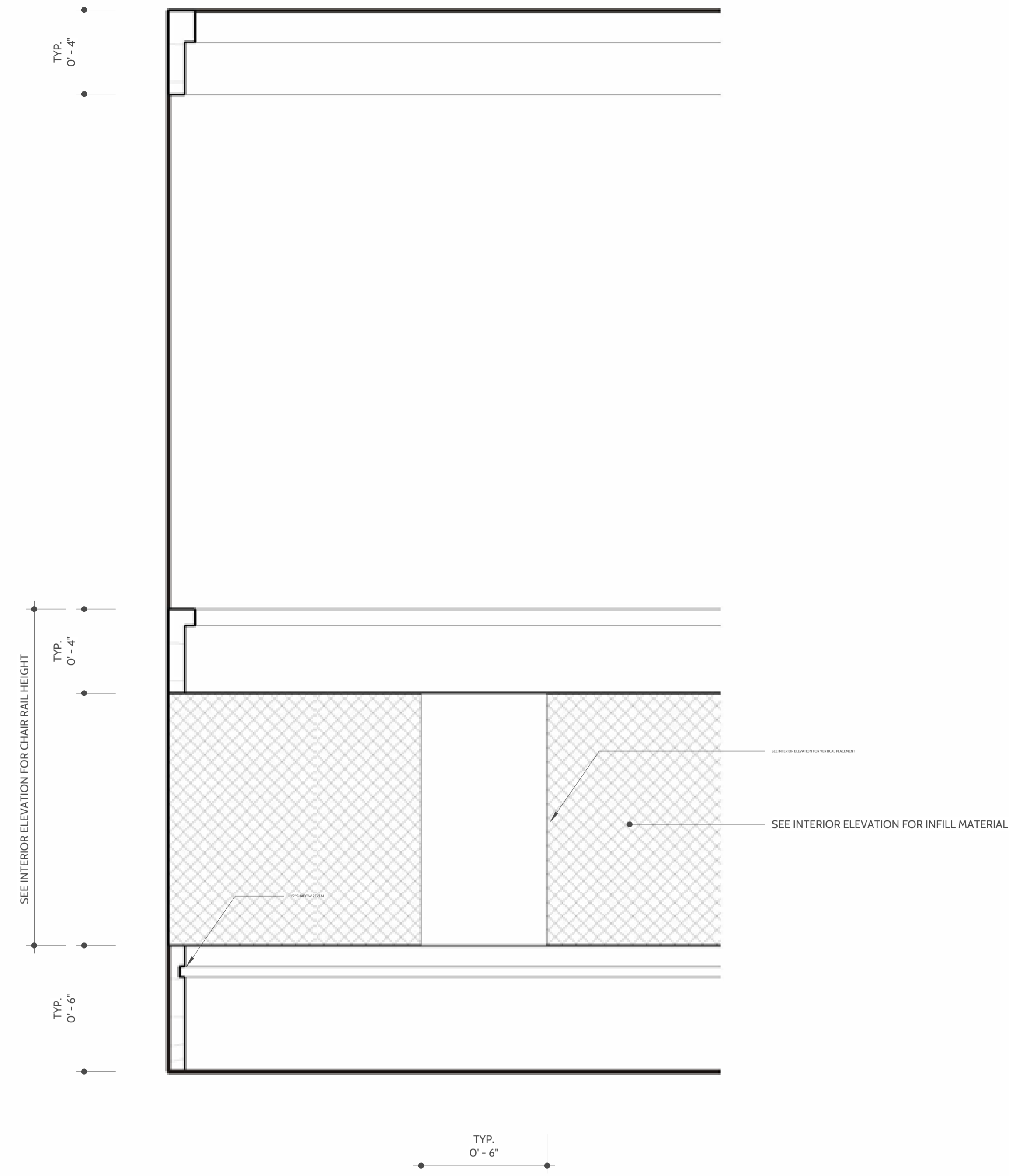
**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

**THE GREEN ROOM
INTERIOR ELEVATIONS**

PROJECT NUMBER 2206
DRAWN BY DM
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-407



1 INTERIOR TRIM DETAIL TYP.
SCALE: 3" = 1'-0"

SHEET ISSUE

DATE 12/21/22
ISSUE NAME 50% DD: Food & Beverage

REVISIONS

NO.	DATE	COMMENTS
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SEAL

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CONSTRUCTION**

PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

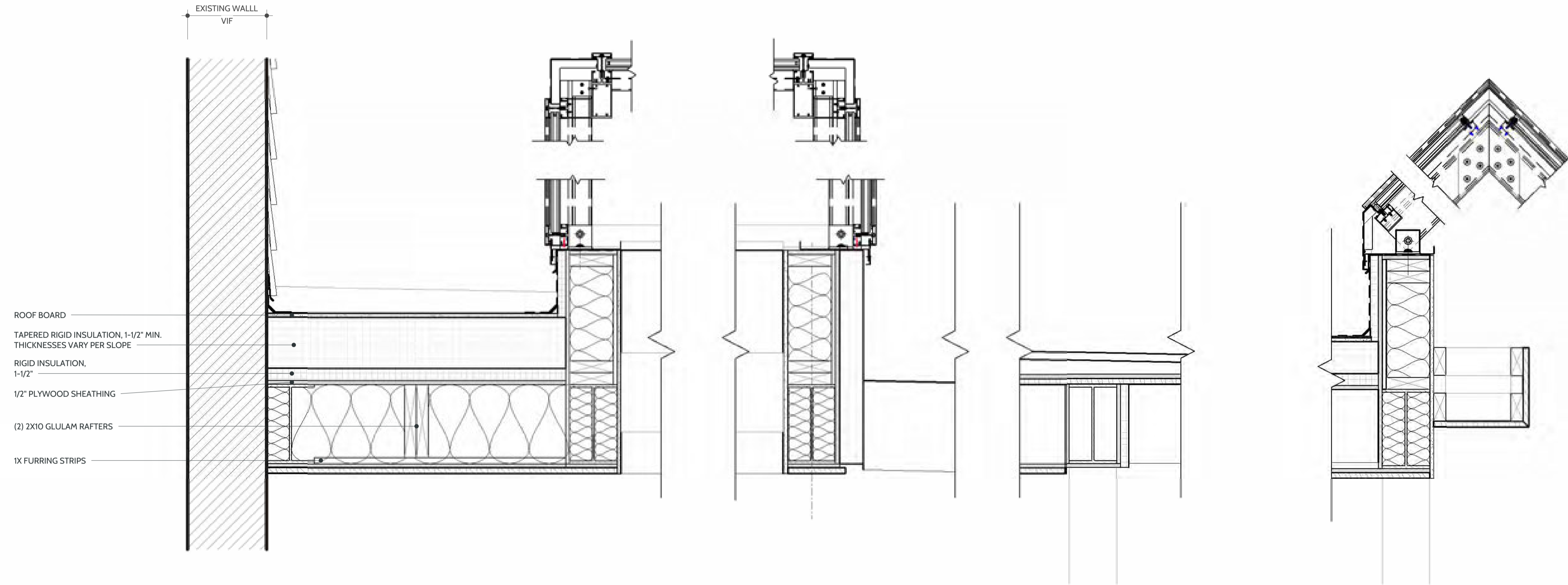
53865 STATE HIGHWAY 30
ROXBURY, NY 12474

INTERIOR TRIM DETAIL

PROJECT NUMBER 2206
DRAWN BY Author
CHECKED BY Checker

SHEET SIZE 24" x 36"
SHEET NUMBER

A-408



1 SKYLIGHT GABLE SILL & HEAD DETAIL
SCALE: 1 1/2" = 1'-0"

2 SKYLIGHT SILL & RIDGE DETAIL
SCALE: 1 1/2" = 1'-0"

SHEET ISSUE	
DATE	12/21/22
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REVISIONS		
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CONSTRUCTION**

PROJECT NAME
THE INN AT KIRKSIDE

PROJECT LOCATION
**53865 STATE HIGHWAY 30
ROXBURY, NY 12474**

**STRUCTURAL SKYLIGHT
DETAILS**

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-531

FINISH SCHEDULE

TAG	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	FINISH	SIZE / THICKNESS	VENDOR	COMMENTS
CF 01	EXTERIOR CEILING	RED OAK	BY GC	BY GC	SEALED				GC TO PROVIDE FINISHED SAMPLE TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION
CF 10	CONSERVATORY	ACOUSTICAL CEILING							
CF 11	KITCHEN	RESILIENT CEILING							
FF 01	EXISTING EXTERIOR DECK		EXISTING	EXISTING	PAINT TO MATCH ORIGINAL				
FF 02	NEW EXTERIOR DECK			GARAPPA					
FF 03	EXTERIOR STONE TERRACES	BLUE STONE PAVERS	BY GC	BLUE STONE					
FF 10	KITCHEN, WARE WASHING, UTILITY CLOSET	COMMERCIAL KITCHEN TILE	METROPOLITAN CERAMICS	QUARRY BASICS, UNGLAZED QUARRY TILE	710 RAVEN		4" X 8" X 1/4" THICK		MINIMAL GROUT LINE PROVIDED
FF 11	VESTIBULE	CUSTOM MOSAIC	TBD	TBD			1" MOSAIC		MINIMAL GROUT LINE PROVIDED
FF 12	CONSERVATORY	TERRACOTTA LARGE FORMAT MOSAIC	COUNTRY FLOORS	OTTAGONO PICCOLO	ROSSO , NERO	--	100MM OCTAGON, 41MM SQUARE; 71MM THICKNESS	ARDA DALKILIC COUNTRY FLOORS (212) 627 8300	
FF 13	YELLOW ROOM, COMMUNITY ROOM	PARQUET		WHITE OAK					
FF 14	INTERIORS, GENERAL	WOOD FLOORS		WHITE OAK					GC TO PROVIDE FINISHED SAMPLE TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION
FF 15	CONSERVATORY, SERVICE STATION, CORRIDOR	TERRA COTTA	ZIA TILE						
FF 17	GENDER NEUTRAL RESTROOM	BASKET WEAVE MARBLE MOSAIC	TILEBAR	TRENZA	CARRARA / NERO MARQUINA	POLISHED		TILE BAR	BLACK GROUT
FF 18	KITCHEN	HEX STONE MOSAIC	TILEBAR	WHITE JADE	WHITE COLORWAY; V2 VARIATION	POLISHED	1" HEX;	TILE BAR	MINIMAL GROUT LINE PROVIDED; SIMILAR COLOR GROUT
FF 19	CONSERVATORY	DECORATIVE BORDER	COUNTRY FLOORS	OTTAGONO BORDER	NERO	POLISHED			
MF 11	RESTROOM	VANITY COUNTERTOP							
MF 12	CONSERVATORY	BOOTH UPHOLSTERY							
MF 13	CONSERVATORY	BAR TOP	CEASAR STONE	5810 BLACK TEMPAL	BLACK TEMPAL				
MF 14	INTERIORS, GENERAL	WHITE OAK VENEER	TBD	WHITE OAK PLANKED GROOVE					GC TO PROVIDE FINISHED SAMPLE TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION
PT 01	EXTERIOR	PAINT FINISH	BENJAMIN MOORE	AURA EXTERIOR	BRILLIANT WHITE EXT. RM	SATIN	N/A	BY GC	
PT 10	THE GREEN ROOM	PAINT FINISH	BENJAMIN MOORE	AURA *	ROSEPINE 461	SATIN	N/A	BY GC	* COORDINATE WITH PLASTER SUB
PT 11	THE GREEN ROOM	PAINT FINISH	BENJAMIN MOORE	AURA	VINTAGE VOGUE 462	SATIN	N/A	BY GC	
PT 12	THE RED ROOM	PAINT FINISH	BENJAMIN MOORE	AURA *					* COORDINATE WITH PLASTER SUB
PT 13	THE YELLOW ROOM	PAINT FINISH	BENJAMIN MOORE	AURA	GLEN RIDGE GOLD 301	SATIN	N/A	BY GC	
PT 14	THE YELLOW ROOM	PAINT FINISH	BENJAMIN MOORE	AURA *	BROADWAY LIGHTS 298	SATIN	N/A	BY GC	* COORDINATE WITH PLASTER SUB
PT 15	CONSERVATORY STRUCTURE AND SKYLIGHT	PAINT FINISH	BENJAMIN MOORE	AURA	NORWAY SPRUCE 452	SATIN	N/A	BY GC	COORDINATE WITH STRUCTURAL SKYLIGHT MANUFACTURER TO MATCH COLOR
PT 17	THE RED ROOM	PAINT FINISH, TRIMS	BY GC						
WF 01	CORRIDOR, NEW EXTERIOR WALL	CLAPBOARD, TO MATCH EXISTING SIDING	BY GC	CLAPBOARD	TO MATCH PT 01	EXTERIOR READY MIX	TO MATCH EXISTING	BY GC	
WF 10	INTERIORS, GENERAL	FINISH PLASTER	BY GC	VENETIAN PLASTER	TO MATCH BENJAMIN MOORE WEST HIGHLAND WHITE SW 7566 UNLESS OTHERWISE SPECIFIED	SATIN	N/A	BY GC	
WF 13	THE GREEN ROOM		TILEBAR	TRENZA					BLACK GROUT
WF 14	THE GREEN ROOM	NICKEL GAP WAINSCOTT	BY GC	NICKEL GAP INTERIOR SIDING	TO MATCH PT 11	PAINT GRADE		BY GC	
WF 15	THE RED ROOM	FABRIC WALL COVERING							
WF 16	THE YELLOW ROOM	WAINSCOTT TAMBOUR INFILL			TO MATCH PT 13	PAINT GRADE			
WF 17	THE RED ROOM	BRONZE MIRROR	BY GC						
WF 18	COSERVATORY	UNDER BAR TILE	COUNTRY FLOORS	FILIGREE CERAMIC WALL DECO	CASCADE	LEATHER	6" X 6" X 3/8"		

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SHEET ISSUE

DATE 12/21/22
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REVISIONS

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SEAL

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PROJECT NAME

THE INN AT KIRKSIDE

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

FINISH SCHEDULES

PROJECT NUMBER 2206
DRAWN BY AL
CHECKED BY CM

SHEET SIZE 24" x 36"
SHEET NUMBER

A-600

LIGHTING SCHEDULE

TAG	LOCATION	DESCRIPTION	MANUFACTURER	MODEL	FINISH	SIZE			COLOR TEMP.	DIMMABLE	COUNT	COMMENTS
						HEIGHT	WIDTH	DEPTH				
A	KITCHEN	LINEAR PENDANT	RAVENHILL STUDIO	BEAM	OAK	0' - 5 1/2"	7' - 0"	0' - 6 1/2"	3000K	Y; WARM DIM	1	
B	THE YELLOW ROOM	CEILING MOUNTED LIGHT	SCHOOLHOUSE	LUNA WITH 10" SHADE	BRASS & OPAL	1' - 0 1/2"	0' - 10"	0' - 10"	2700K	Y	3	
C	CONSERVATORY BAR	PENDANT	RAVENHILL STUDIO	GRAIN PENDANT	BLACK AND BRASS	0' - 5"	1' - 1"	1' - 1"	2700K	Y	4	FROSTED BULB
D	CONSERVATORY, THE RED ROOM, CORRIDOR, POWDER ROOM 1	GLOBE SCONCE	SHADES OF LIGHT	MODERN MILKY GLOBE SCONCE	AGED BRASS/OPAL	0' - 6"	0' - 6"	0' - 7 3/4"	2700K	Y	16	
E	CONSERVATORY	WALL SCONCE	IN COMMON WITH	ALIEN ORB SURFACE MOUNT	WHITE CLAY		1' - 11/2"	0' - 5 1/4"	2700K	Y	1	
F	THE YELLOW ROOM	LINEAR WALL SCONCE	IN COMMON WITH	GLASS UP DOWN SCONCE	BRASS, WHITE GLASS	0' - 10"	0' - 4 3/4"	0' - 4 3/4"	2700K	Y	6	
G	THE RED ROOM	PENDANT	IN COMMON WITH	FAZZO PENDANT	TOBACC, BRASS HARDWARE		1' - 3 3/4"		2700K	Y	1	
H	THE GREEN ROOM	WALL SCONCE	IN COMMON WITH	VERA SCONCE	CHERRY, BRASS HARDWARE	0' - 8"	0' - 8 3/4"	0' - 4"	2700K	Y	4	
I	KITCHEN; BASEMENT	RECESSED LINEAR LIGHT	FOCAL POINT	AVENUE 6 LED		0' - 4 1/2"	0' - 6"	8' - 0"	3000K	N	23	
J	CONSERVATORY	CHANDELIER	APPARATUS STUDIO	HIGHWIRE - TANDEM LARGE	AGED BRASS & BLACK LEATHER		5' - 4"		2700K	Y	3	
K	CONSERVATORY BAR, THE YELLOW ROOM	LED LIGHT STRIP							2700K	N	4	
L	CONSERVATORY	CEILING MOUNTED LIGHT	RBW	RIPPLE FLUSH MOUNT	COPPER GLASS; BLACK ANODIZED PLATE		0' - 5"	0' - 3 1/4"	2700K	N	8	
M	VESTIBULE; COVERED PORCH	EXTERIOR RECESSED CAN	LOTUS LED LIGHTS	REGRESSED DEEP 4" LE ROUND RECESSED TRIMD	BLACK	0' - 3 1/2"	0' - 5"		2700K	N	8	
N	RESTROOM	CEILING MOUNTED LIGHT	RBW	RIPPLE FLUSH MOUNT	COCOPPER GLASS; BLACK ANODIZED PLATE PER C		0' - 5"	0' - 3 1/4"	2700K	N	6	WET RATED
O	KITCHEN; SERVICE STATION; BASEMENT	CEILING MOUNTED LIGHT	SUPERBRIGHTLEDS.COM	BASIC SURFACE-MOUNT UTILITY LIGHT	WHITE		0' - 2"	0' - 9"	3000K	N	22	
P	RESTROOM	WALL SCONCE	DSHOP	THIN SURFACE MOUNT VANITY LIGHT	BLACK OXIDE	2' - 3"	0' - 3 1/2"		2700K	N	5	WET RATED
Q	RESTROOM	EXHAUST FAN			WHITE				3000K	N	4	WET RATED
R	UTILITY CLOSET	RECESSED LINEAR LIGHT	FOCAL POINT	AVENUE 6 LED		0' - 4 1/2"	0' - 6"	4' - 0"	3000K	N	1	
S	THE GREEN ROOM	GALLERY WALL LIGHTING	DSHOP	THIN SURFACE MOUNT PICTURE LIGHT: 75"L 3 SEGMENTS	BLACK OXIDE	0' - 3 1/2"		6' - 3"	2700K	Y	1	
T	THE GREEN ROOM	GALLERY WALL LIGHTING	DSHOP	THIN SURFACE MOUNT PICTURE LIGHT: 27"L 1 SEGMENT	BLACK OXIDE	0' - 3 1/2"		2' - 3"	2700K	Y	1	

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SHEET ISSUE

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PROJECT NAME

THE INN AT KIRKSID

PROJECT LOCATION

53865 STATE HIGHWAY 30
ROXBURY, NY 12474

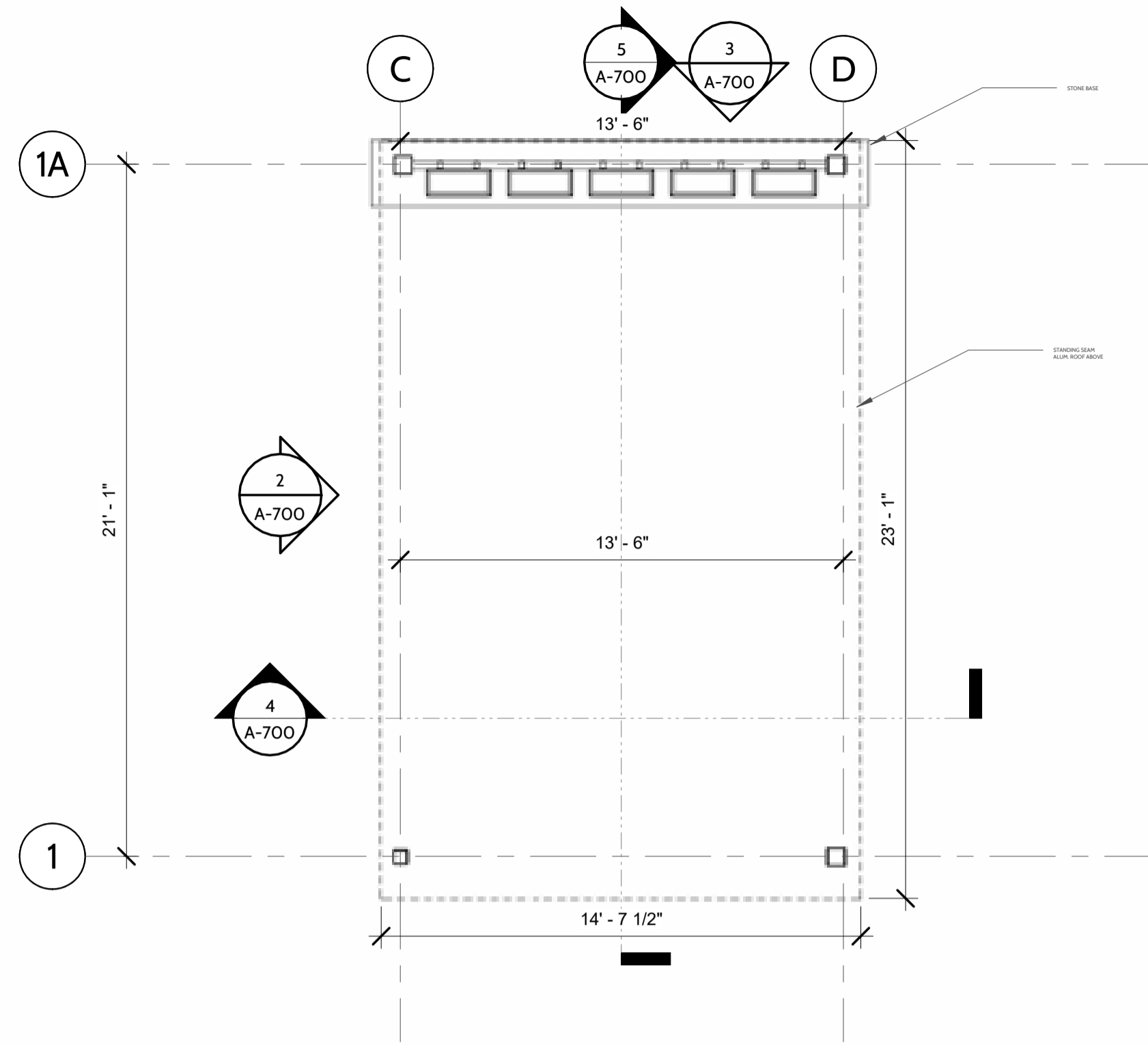
LIGHT SCHEDULES

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

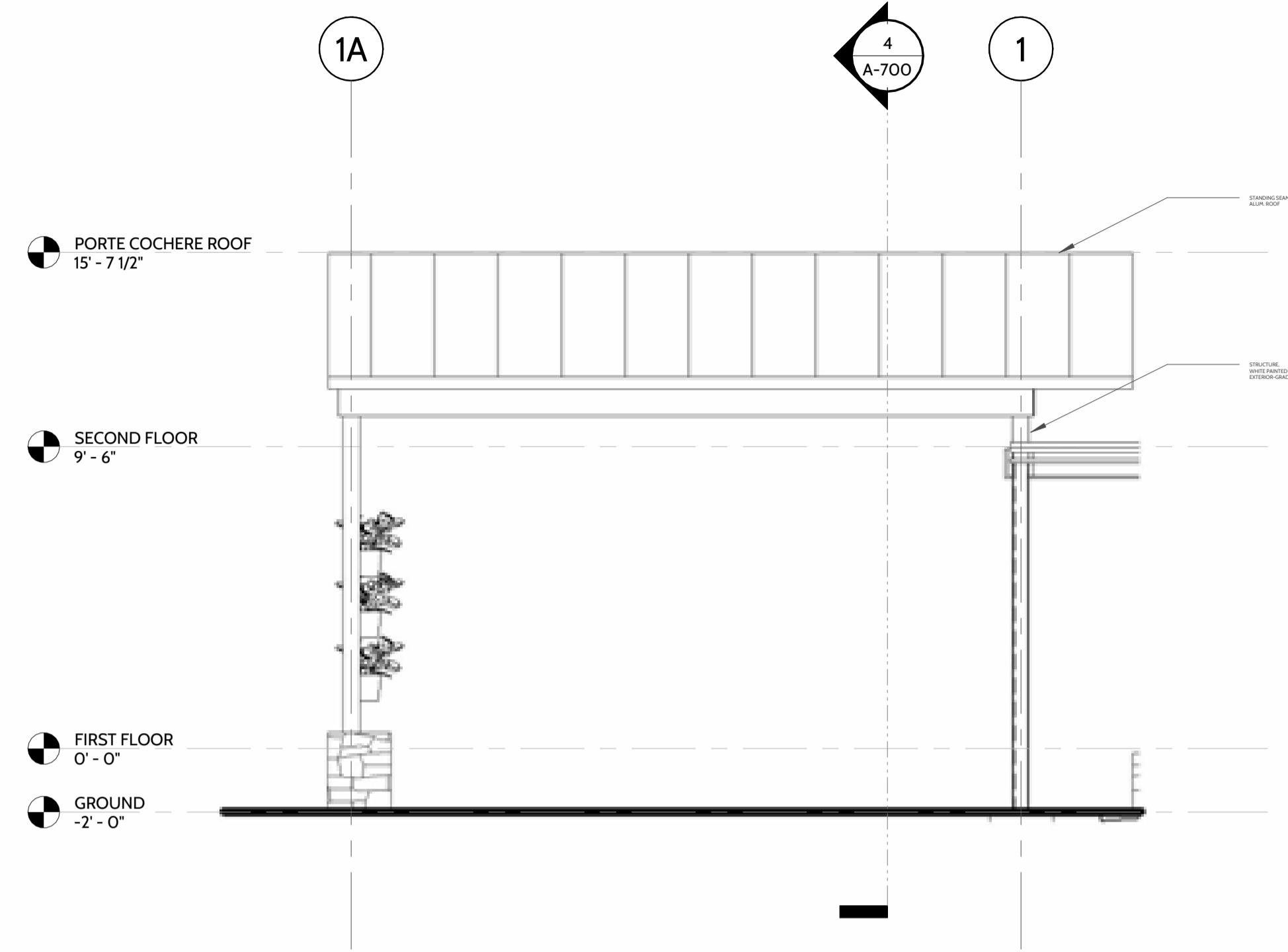
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SHEET NUMBER

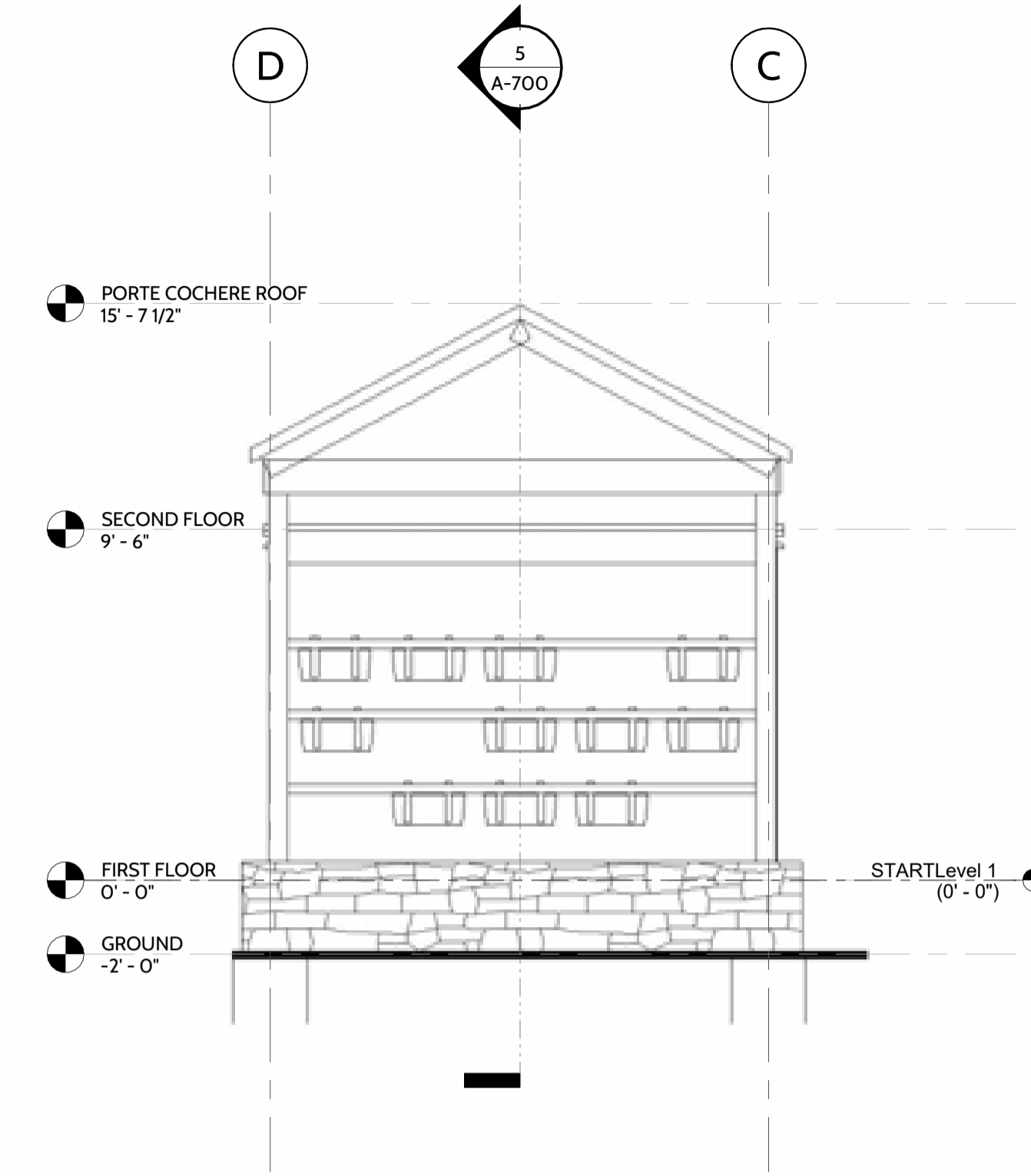
A-650



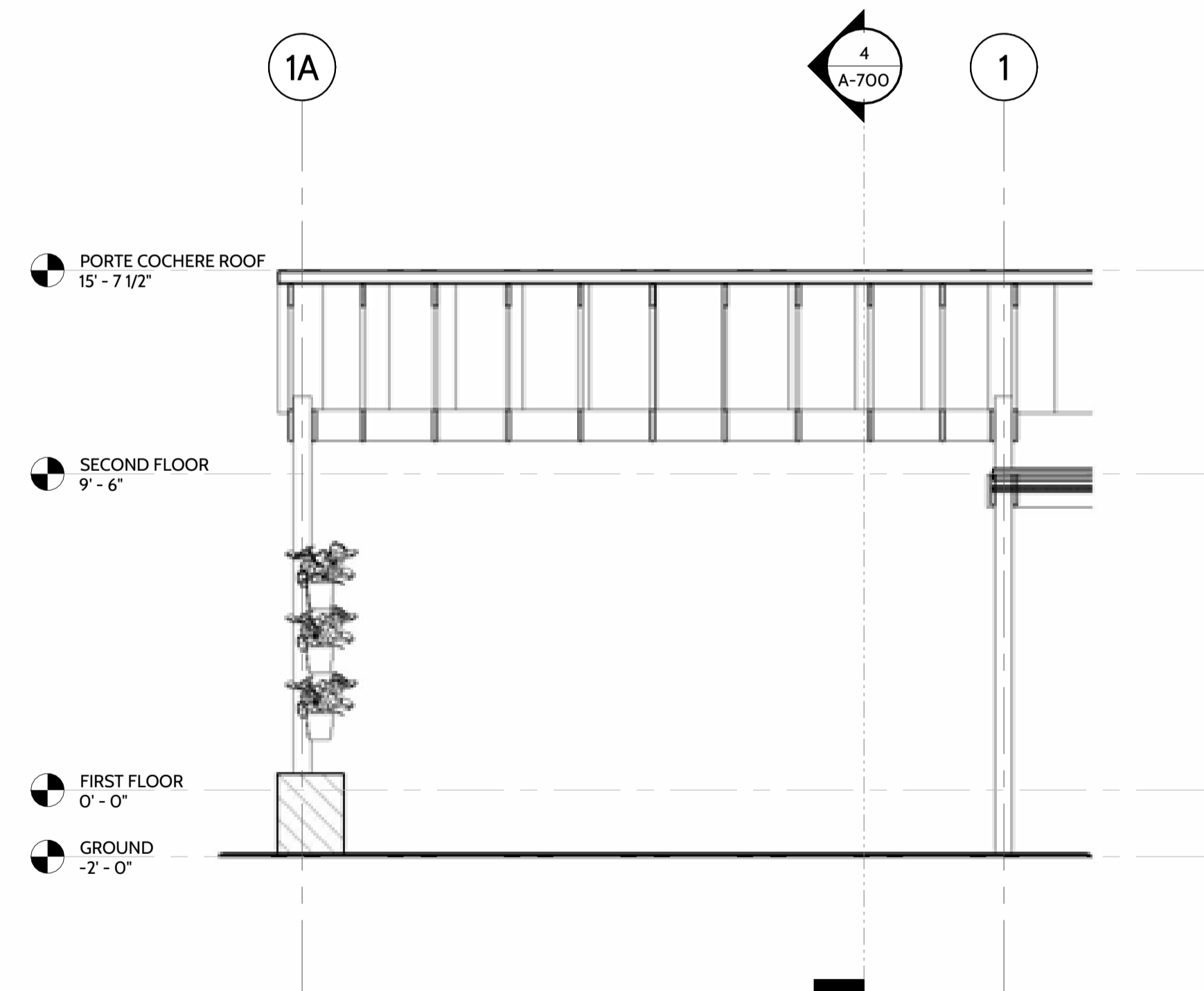
1 PORTE COCHERE PLAN
SCALE: 1/4" = 1'-0"



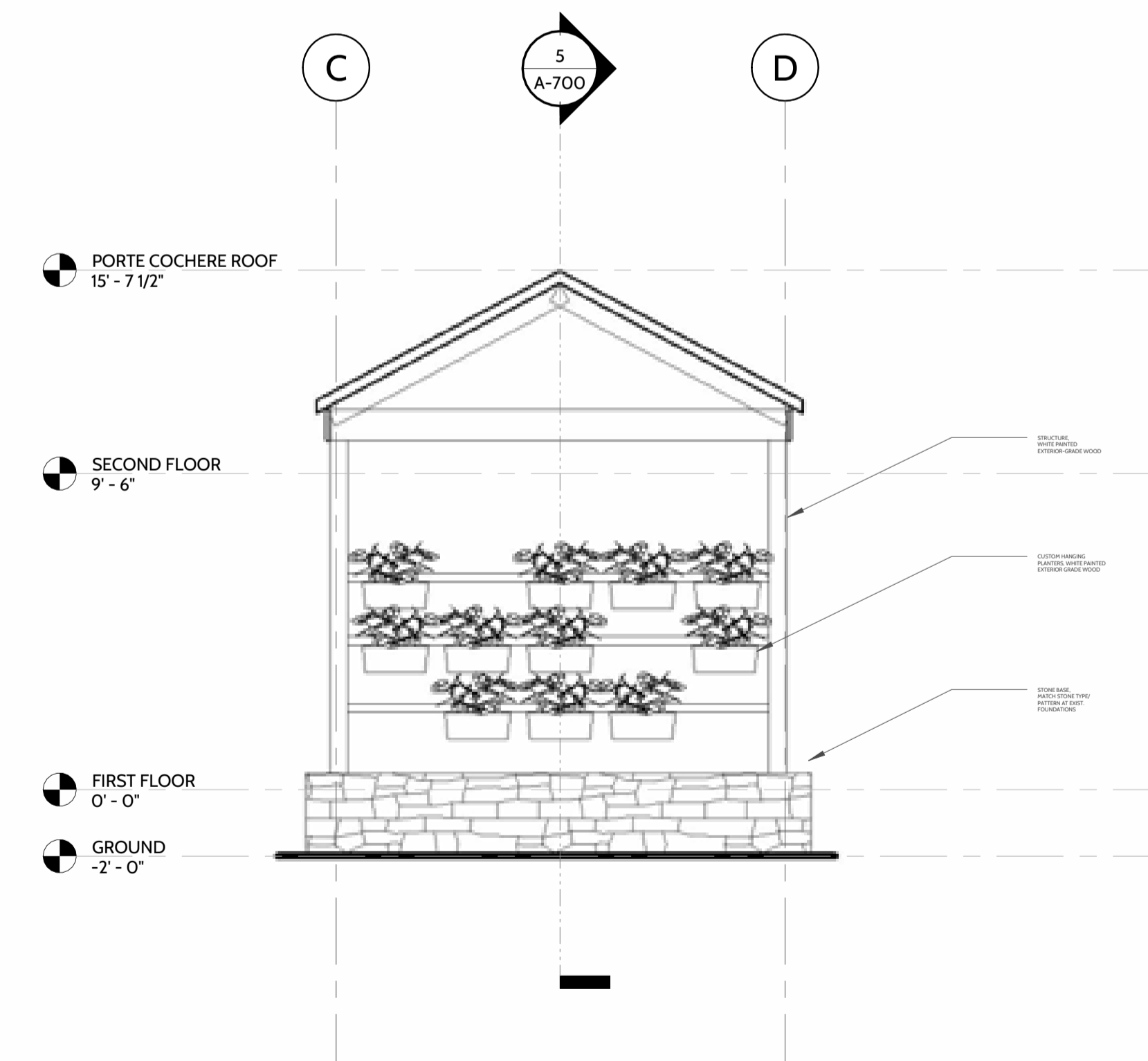
2 WEST ELEVATION- PORTE COCHERE
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION- PORTE COCHERE
SCALE: 1/4" = 1'-0"



5 SECTION EE
SCALE: 1/4" = 1'-0"



4 SECTION DD
SCALE: 1/4" = 1'-0"

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ROXBURY, NY 12474

PORTE COCHERE

PROJECT NUMBER 2206
DRAWN BY AK
CHECKED BY CB

SHEET SIZE 24" x 36"
SHEET NUMBER

A-700